



February 2, 2026

Paul J. Drury, Jr.
Director of Planning and Zoning
7850 Five Mile Road
Anderson Township, Ohio 45230

Via Hand Delivery

RE: Speedway 45441 – PUD Application, Eight Mile Road and Beechmont Avenue

Mr. Drury:

On behalf of 7-Eleven, I am submitting this letter and the enclosed plans to request a PUD Approval for the proposed Speedway at the northwest corner of Beechmont Avenue and Eight Mile Road. At this location, 7-Eleven is proposing a new 4,746 square foot Speedway convenience store and fuel station with six double-sided fuel dispensers.

Included in this transmittal, you will find ten (10) packets of the following:

- Project narrative with a concise statement of facts and description of variance requests.
- Site plans including: survey, site plan, circulation plan, grading/utility plan, lighting plan, landscape plan.
- Building, canopy, and dumpster enclosure elevations.
- Signage plans.
- Our latest correspondence with ODOT.
- Our latest correspondence with HCEO.
- Existing site photos.

Also included in this transmittal is a check for \$600.00 to cover application fees.

Please review the materials provided and contact me if additional information is needed at this time. I can be reached at mdowney@mcbriedale.com or 513-404-2040 as needed. It is my understanding that the PUD and variance requests will be heard at the February 23rd Zoning Commission Meeting. Please provide an agenda and staff report when available.

Sincerely,

A handwritten signature in cursive script that reads "Macy Downey".

Macy Downey, AICP

cc: 7-Eleven
File – McBride Dale Clarion
MDC #4343

PROJECT DESCRIPTION

Proposed Speedway 45441 8352 Beechmont Avenue Anderson Township, OH

Speedway currently operates a facility on 0.88 acres of property at 8352 Beechmont Avenue and owns 0.89 acres at 8342 Beechmont Avenue to the west which is currently occupied by two vacant buildings. There are two billboards on site, one on each property. These properties are zoned “E” Retail Business District which permits convenience stores and fuel facilities by right. Speedway proposes to raze the existing buildings and canopy to construct a new Speedway convenience store and fuel sales facility on the expanded property.

Speedway proposes to develop a new 4,746 square foot convenience store and a fuel canopy of over six double-sided fuel dispensers. As is typical with convenience store uses, outdoor merchandising is proposed along the storefront. This includes merchandisers such as ice and propane as shown on the provided elevations. This development will have 48,968 square feet of impervious surface area whereas 61,294 square feet exists on site today. This will reduce the impervious surface ratio (ISR) for the site from 90% to 75%.

The convenience store is primarily constructed of EIFS, corrugated metal, and fiber cement panels designed to appear as vintage wood. The main entrance to the convenience store is on the southern elevation facing Beechmont Avenue. Awnings over the front entrance and back door will be made of pre-finished aluminum. As is typical with convenience stores, Speedway will provide outdoor display items along the storefront. These items will be purchased in store and will include items such as propane and ice. Mechanical units for the convenience store are located on the roof of the convenience store and will be screened from view. A 7’4” tall dumpster enclosure will be located to the west of the convenience store and will be constructed of integrally colored CMU to match the building and will have a solid gate. The overall height of the convenience store’s parapet wall will be 24’ 8”. A flat roofed metal canopy is proposed over the fuel dispensers. The fuel canopies are 17’ 6” tall and each has a clearance of about 14’ 6”.

Signage for the new facility includes the following:

- One (1) 15-foot-tall, 97.8 square foot pylon sign at the corner of Beechmont Avenue and Eight Mile Road.
- The convenience store will have one 62.7 square foot sign on the front (south) elevation and one 61 square foot sign on the side (east) elevation.
- The canopy will have one 24.55 square foot sign on the front (south) elevation and one 6.13 square foot sign on the side (east) elevation. Decorative striping will be located on each side of the canopy.
- Two (2) 5-foot-tall, six square foot directional signs are proposed; one at each access point.

The development proposes two driveways: one on Eight Mile Road that is 40 feet wide, full access, and controlled by HCEO and another on Beechmont Avenue that is 35 feet wide, full access, and controlled by ODOT. Per recommendations from the township, the plan accommodates ROW dedication for a new right turn lane onto Beechmont Avenue from Eight Mile Road in effort to improve traffic conditions.

The proposed driveway modifications reduce the properties to a total of two curb cuts whereas five exist today. These access points have been coordinated with Anderson Township. A traffic study is underway for review and

approval by HCEO and ODOT. Per initial coordination with HCEO, the proposed width and location of the driveway is adequate on Eight Mile Road and per initial coordination with ODOT, the proposed driveway location on Beechmont is acceptable and a traffic study is underway to finalize the access type. The improved access is consistent with the goals of Anderson Township's Beechmont Plan.

The site will be landscaped with a variety of trees and shrubs. Parking landscaping will be screened from adjacent residentially zoned properties with 35 Blue Muffin Arrowwood Viburnum and a 6-foot-tall privacy fence. Landscaping along Beechmont Avenue will include nine Eastern Redbud Multi-trunk trees and 26 Sea Green Juniper shrubs. Landscaping along Eight Mile Road will include 19 Sea Green Juniper shrubs. Fourteen (14) Karl Foerster Feather Reed Grass shrubs will be provided around the dumpster enclosure. Site lighting for the development consists of a combination of pole and building-mounted light fixtures. Lights poles will be 20' tall (17' pole on 3' tall base).

Please consider the following as it relates to Section 4.1(G) of the Anderston Township Zoning Resolution (ATZR).

1. The proposed plan will comply with the ATZR requirements, with the exception of the variances requested. The proposed use meets the intent and spirit of the E District which permits convenience stores and fuel facilities by right.
2. The proposed development meets the comprehensive plan's Future Land Use Map which designates this area for "General Mixed Use". The General Mixed Use area calls for "community and regional oriented businesses, offices, and services".
3. The proposed development will be compatible with surrounding land uses. Many businesses along this portion of the Beechmont corridor (including the existing Speedway) are auto-oriented, quick service uses that appear to have an ISR greater than 60%. The proposed redevelopment will remove a blighted building, enhance an existing business, and provide for additional greenspace on the expanded property.
4. The project area is sufficient to allow for the proposed development and adequate protection will be provided for the surrounding properties. The project scope will include adequate screening measures (fencing and plantings) along the rear and side property lines in order to improve conditions for the existing residential homes and meet the intent of the ATZR.
5. The development will occur in one single phase and be completed in a timely manner. Once started construction typically lasts approximately six to seven months.
6. The proposed development will be served adequately and efficiently by public facilities and services as is the existing Speedway store.
7. No significant scenic or historic features have been identified on site.
8. The zoning modifications requested are warranted by the innovative design of the development plan. The requested 75% ISR provides the minimum amount of pavement needed for safe vehicle turnaround movements and truck entry/exit. It also allows for a cross-access connection to the west of the site which is a goal listed in the Beechmont Plan.
9. The pedestrian access point that connects the convenience store to the Eight Mile right-of-way will provide safe and adequate circulation to the storefront. This path will provide minimal conflict points with vehicular circulation.
10. Adequate landscaping and screening are provided with the proposed plan. The tree plantings and 6-foot-tall fence will provide ample screening to the surrounding properties and improve existing conditions.
11. The proposed development is providing more green space than currently exists on the two properties. The ISR will decrease 15% on site (from 90% pavement to 75% pavement). The proposed amount of pavement allows for adequate and safe vehicle maneuverability around the site for passenger vehicles and the fuel truck. It also allows cross access to the adjacent property.

12. The proposed development will not be detrimental to the surrounding area. The use is existing and the proposed plan will remove a blighted warehouse building that is more intense than the proposed development. The proposed plan improves interconnectivity between properties, access conditions on Beechmont Avenue and Eight Mile Road, screening to adjacent residential properties, and provides a mechanism for improved traffic conditions at the intersection.
13. Per recommendations from the township, the plan calls for the demolition of a vacant warehouse building and accommodates ROW dedication for a new right turn lane onto Beechmont Avenue from Eight Mile Road in effort to improve traffic conditions. Per initial coordination with HCEO, the proposed width and location of the driveway is adequate on Eight Mile Road. Per initial coordination with ODOT, the proposed driveway location on Beechmont is acceptable and a traffic study is underway to finalize the access type.
14. The new Speedway development is consistent with the goals of Anderson Township's Beechmont Plan. The proposed plan reduces curb cuts on Beechmont Avenue and Eight Mile Road from five to two access points. It also provides additional landscaping and cross access to the west. The proposed right-of-way dedication also provides the opportunity for the right turn lane described in the plan.

To allow for the proposed development to move forward, Speedway is requesting the following variances from the Anderson Township Zoning Resolution:

1. Article 5.3(D)(1)(e) - To allow a landscape buffer that is 7' 4" in width along the western property line due to spacing necessary for vehicle maneuverability/circulation.
2. Article 5.3(L)(5)(b)(2) – To allow trees required along the north property line to be planted along the west property line due to utility conflicts.
3. Article 5.3(L)(5)(b)(i) – To allow five shade trees along Eight Mile Road due to utility conflicts.
4. Article 5.3(L)(5)(b)(ii) – To allow ornamental trees in lieu of shade or evergreen trees along Beechmont Avenue due to overhead utility lines.
5. Article 5.3(L)(6) – To allow some of the internal plantings to be located along the west property line due to conflicts with the bike rack and utility lines.
6. Article 5.5(G)(4)(c) - To allow a directional sign height of 5 feet for visibility purposes.

Please consider the following as it relates to Section 2.12(D)(2)(b) of the Anderson Township Zoning Resolution.

1. The requested variances are necessary to allow for beneficial use of the expanded property. Without the variances, directional signage will not be visible, adequate circulation will not be maintained on site, and plantings will cause conflicts with underground and overhead utilities.
2. The two-foot variance requested for the directional sign height and the 2'8" variance requested for the landscape bed width are not substantial. These minimal requests will have a big impact on site circulation in the parking areas, utility routing, and ingress/egress in and out of the site.
3. The character of the area will not be altered, nor will the surrounding properties be negatively affected by the requested variances. Directional signage is positioned at the access points along the right-of-way and will only be directed to commuters. The landscaping proposed will provide sufficient buffering and will provide more buffer width than exists today. The current site has an ISR of 90% with minimal plantings and the pavement line comes as close as two feet to the adjacent residential property line.
4. The variances requested will not adversely affect the delivery of governmental services.
5. Speedway is aware of the zoning restrictions and is requesting relief prior to proceeding with the proposed development.
6. There is no other method of relief to allow for the site design and directional signs to move forward. The site design as shown provides the maximum amount of plantings possible and reflects the minimum amount of pavement space needed for safe vehicle turnaround movements and truck entry/exit.

7. The proposed plan upholds the spirit and intent of the zoning requirements. The proposed plantings and fencing bring the site closer to conformance with the ATZR. The directional sign will meet area requirements, while maintaining a visible message and visibility under the sign face.

Speedway feels this project will have a positive impact on Anderson Township. Our team looks forward to discussing this project with the Zoning Commission on February 23rd.

MDC #5343







Macy Downey

From: brianne.hetzel@dot.ohio.gov
Sent: Thursday, January 15, 2026 6:50 AM
To: Macy Downey
Cc: Dustin.Williams@dot.ohio.gov; Bryan.Comer@dot.ohio.gov; Matthew.Couch@dot.ohio.gov
Subject: RE: SPWY 8342 Beechmont Avenue, Anderson Twp, OH
Attachments: 12.18.25 - CONCEPTUAL SITE_8352 Beechmont Av.pdf

Hi Macy,

ODOT has no comments or objections to the location of the site drive. The type of access (full move, RI/RO, or RI/RO/LI) will be determined by the results of the traffic study. Thanks.

Bree Hetzel, P.E.

District Traffic Studies Engineer

ODOT District 8

505 South State Route 741

Lebanon, OH 45036

D: 513.933.6624

Brianne.Hetzel@dot.ohio.gov



**Department of
Transportation**

From: Macy Downey <mdowney@mcbrieddale.com>
Sent: Wednesday, January 14, 2026 4:22 PM
To: Hetzel, Brianne <brianne.hetzel@dot.ohio.gov>
Subject: SPWY 8342 Beechmont Avenue, Anderson Twp, OH

You don't often get email from mdowney@mcbrieddale.com. [Learn why this is important](#)

Hi Bree.

I am working on the Speedway redevelopment at the NWC of Eight Mile and Beechmont Avenue. I believe you and your team have had some coordination back and forth with Anderson Township regarding the site plan.

As we move towards our zoning submission with Anderson Township, I wanted to reach out directly with Speedway's latest plan and see if you had any preliminary feedback about the access point proposed on Beechmont. Ultimately, the plan shifts Speedway's access point further away from the Beechmont/Eight Mile intersection and reduces curb cuts on Beechmont.

Please let me know if you have any initial input or have any questions at this point.

FYI, our traffic counts are underway. I believe our traffic engineer is shooting for the end of February/beginning of March to have those for your review.

Thank you!

Macy Downey, AICP

McBride Dale Clarion | Planner



D: (513) 272-9108

C: (513) 404-2040

www.mcbridedale.com

5721 Dragon Way Suite 300

Cincinnati, OH 45227

CAUTION: This is an external email and may not be safe. If the email looks suspicious, please do not click links or open attachments and forward the email to csc@ohio.gov or click the Phish Alert Button if available.

Macy Downey

From: Newby, Jeff <jeff.newby@hamiltoncountyohio.gov>
Sent: Tuesday, December 23, 2025 10:21 AM
To: Macy Downey
Subject: RE: SPWY 45441 - Eight Mile and Beechmont Avenue

Follow Up Flag: Flag for follow up
Flag Status: Flagged

Macy,

The plan showing the fuel truck path justifies the 40' width.

Thank you,

Jeff Newby, P.E., S.I.
Engineering Manager

Hamilton County Engineer's Office
223 W. Galbraith Road
Cincinnati, Ohio 45215

Ph. (513) 946-8421
Email Jeff.Newby@HamiltonCountyOhio.gov

Please note that my email address has changed to Jeff.Newby@HamiltonCountyOhio.gov
Kindly update your contact information accordingly.



From: Macy Downey <mdowney@mcbrieddale.com>
Sent: Tuesday, December 23, 2025 10:17 AM
To: Newby, Jeff <jeff.newby@hamiltoncountyohio.gov>
Subject: Re: SPWY 45441 - Eight Mile and Beechmont Avenue

Jeff - Thanks for the prompt response.

The 40 foot driveway width is proposed due to Speedway's fuel truck turns. Please see attached for the truck circulation plan. We originally had this driveway at 45 feet but per our coordination with the township, understand you had some concerns about that so we were able to accommodate a 5-foot reduction.

Is the engineering justification a formal submission that is needed?

Thank you,

Macy Downey, AICP

McBride Dale Clarion | Planner



D: (513) 272-9108

C: (513) 404-2040

www.mcbridedale.com

From: Newby, Jeff <jeff.newby@hamiltoncountyohio.gov>
Sent: Tuesday, December 23, 2025 10:04 AM
To: Macy Downey <mdowney@mcbridedale.com>
Subject: RE: SPWY 45441 - Eight Mile and Beechmont Avenue

Macy,

Thank you for providing the most recent site plan for the proposed Speedway development at the intersection of Beechmont Avenue and Eight Mile Road.

We note that the driveway connection on Eight Mile Road is shown at the maximum feasible distance from Beechmont Avenue, which is appropriate. However, the driveway width is indicated as 40 feet, which exceeds the County's maximum permitted driveway width of 35 feet. Please provide the engineering justification for the proposed 40-foot driveway width.

We look forward to reviewing the Traffic Impact Study and will provide final comments on both the report and the site plan following that review.

Please let me know if you have any questions.

Thank you,

Jeff Newby, P.E., S.I.

Engineering Manager

Hamilton County Engineer's Office

223 W. Galbraith Road

Cincinnati, Ohio 45215

Ph. (513) 946-8421

Email Jeff.Newby@HamiltonCountyOhio.gov

Please note that my email address has changed to Jeff.Newby@HamiltonCountyOhio.gov

Kindly update your contact information accordingly.



From: Macy Downey <mdowney@mcbridedale.com>
Sent: Tuesday, December 23, 2025 9:25 AM
To: Newby, Jeff <jeff.newby@hamiltoncountyohio.gov>
Subject: SPWY 45441 - Eight Mile and Beechmont Avenue

Good morning Jeff.

I believe you have had some coordination back and forth with Anderson Township regarding Speedway's site at the NWC of Eight Mile and Beechmont Avenue. I wanted to reach out directly with Speedway's latest site plan and see if you had any preliminary comments regarding the access on Eight Mile Road.

The new plan shifts the driveway further north, away from the intersection. The plan also accounts for ROW dedication for a right turn lane on to Beechmont, however, the township will be taking ownership of that work/permitting.

We'll be starting our traffic counts and study in the new year but please let us know if you have any initial feedback.

Thank you and Happy Holidays!

Macy Downey, AICP

McBride Dale Clarion | Planner



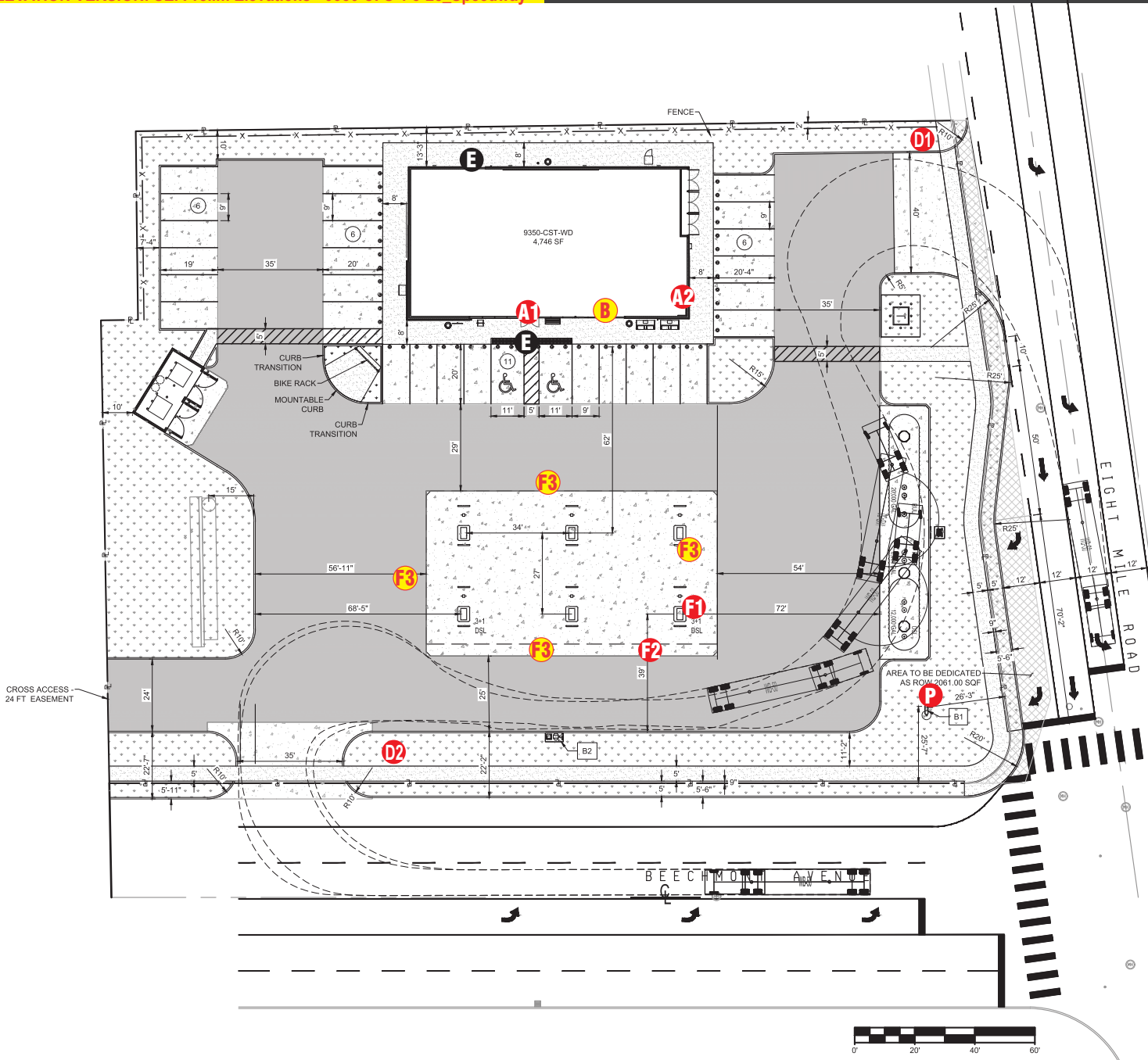
D: (513) 272-9108

C: (513) 404-2040

www.mcbridedale.com

5721 Dragon Way Suite 300

Cincinnati, OH 45227



PRODUCT LIST		
SQ. FT.	QTY	ITEM
EXTERIOR BUILDING SIGNS		
A1	62.7	1 5"5" BADGE & SPEEDWAY LETTER SIGN SET
A2	61	1 7"5" BADGE WALL SIGN
INTERIOR WINDOW SIGNS BY OTHERS		
B	N/A	1 HANGING ATM WINDOW SIGN (BY OTHERS)
VINYLS ONLY		
E	N/A	2 WELCOME VINYLs
EXTERIOR GROUND SIGNS		
P	97.8	1 DF PYLON SIGN
D1	6	1 DF DIRECTIONAL SIGN
D2	6	1 DF DIRECTIONAL SIGN
FUEL CANOPY FASCIA SIGNS		
F1	6.13	1 LOGO BADGE SIGN
F2	24.55	1 SPEEDWAY CHANNEL LETTER SET
FUEL CANOPY FASCIA ITEMS BY OTHERS		
F3	N/A	4 RED/GREY STRIPES & DOWN LIGHTING (BY OTHERS)

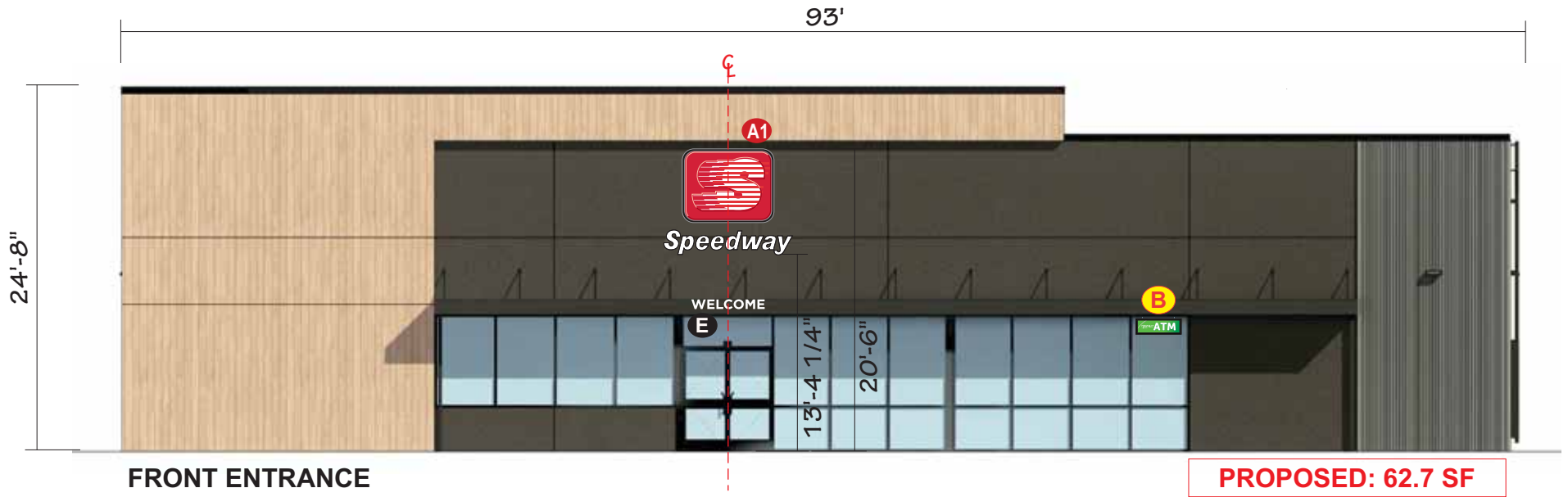


Job Location: Site # 45441
 8452 Beechmont Ave.
 Cincinnati OH 45255
Date: December 03, 2025

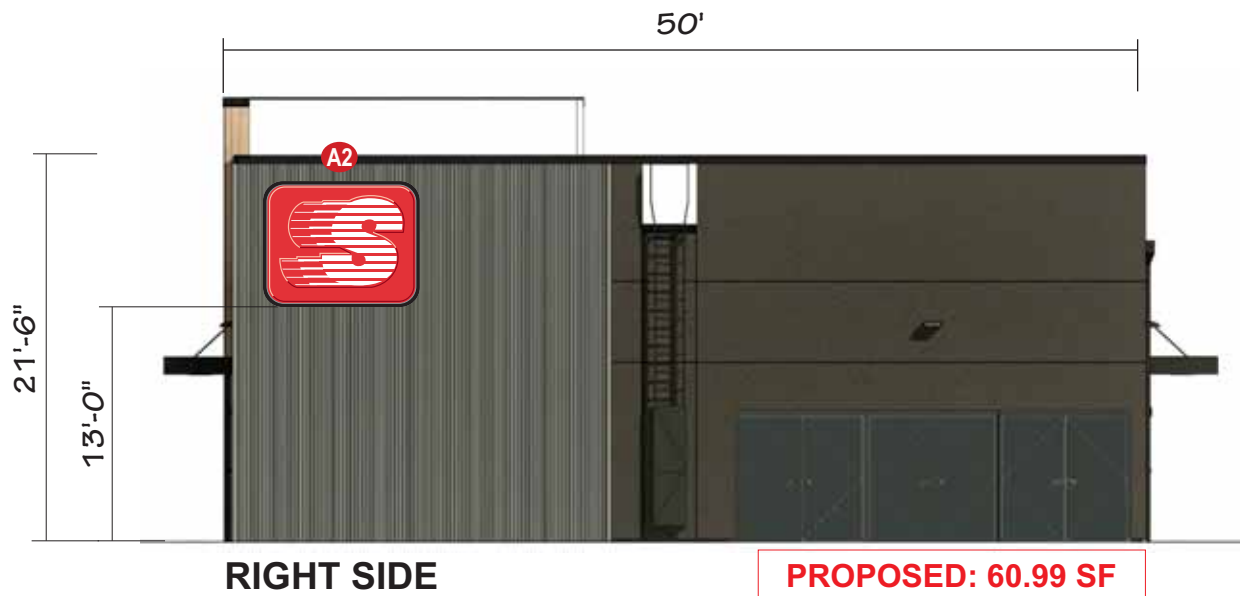


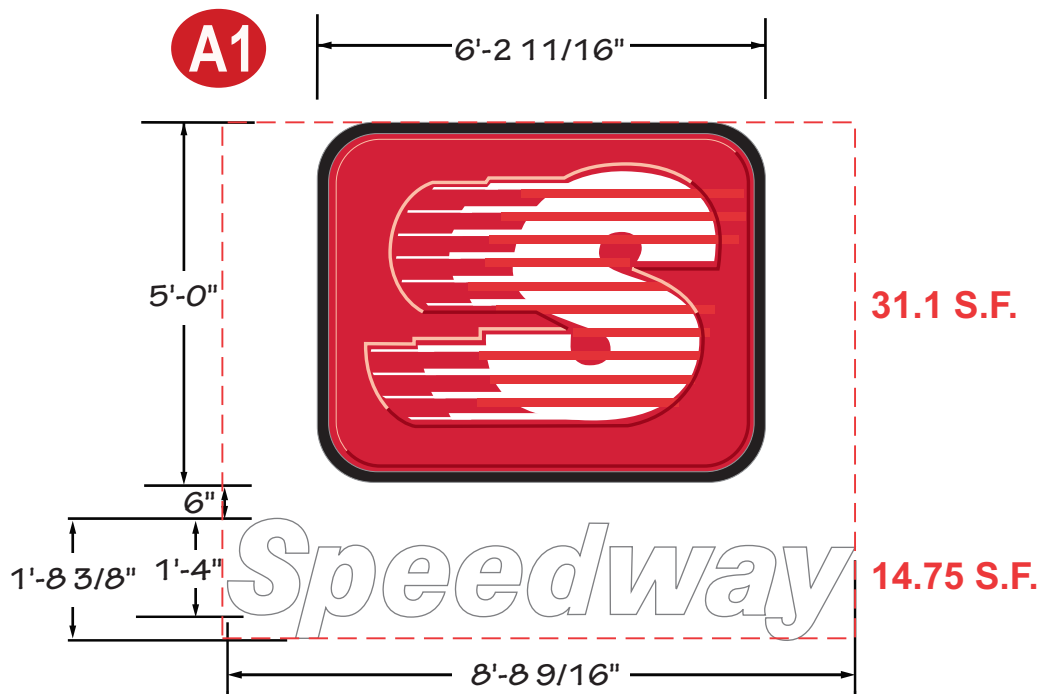
D-ORDER# 1675382085.01
Project Mgr.: Taryn Schultz
 taryn.schultz@cummingsigns.com
 Page: 1 of 12

Building Code: Max sign area is 20% of façade area or 250 sf total surface area per structure whichever is less.



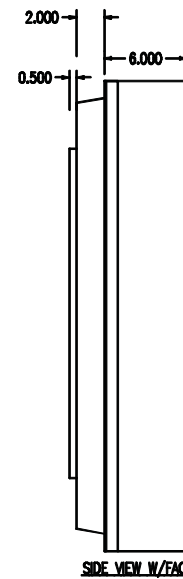
Building Code: Max sign area is 20% of façade area or 250 sf total surface area per structure whichever is less.





Speedway Sign Set

SIGN SET BOXED: 62.7 SF BOXED



"S" SIGN BADGE

CABINET: 6" DEPTH, SF, FABRICATED ALUMINUM. CABINET & RETAINERS PAINTED TRICORN BLACK SW 6258

FACE: PAN-FORMED & EMBOSSED' CLEAR POLYCARBONATE W/2ND SURFACE VINYL, HAND CUT & BACK SPRAYED WHITE.

ILLUMINATION: WHITE LEDs

"SPEEDWAY" CHANNEL LETTERS

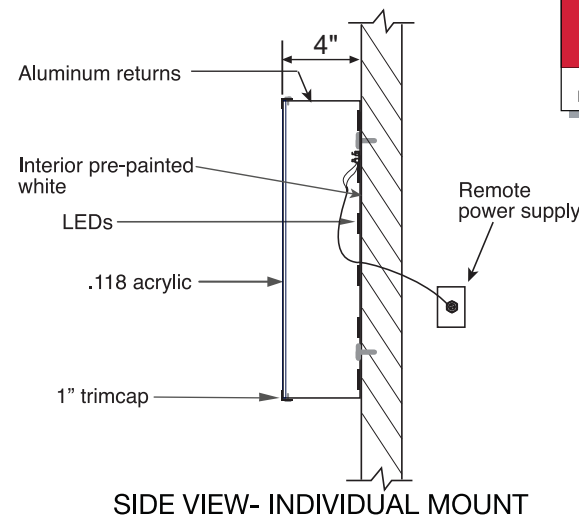
FACES: WHITE ACRYLIC

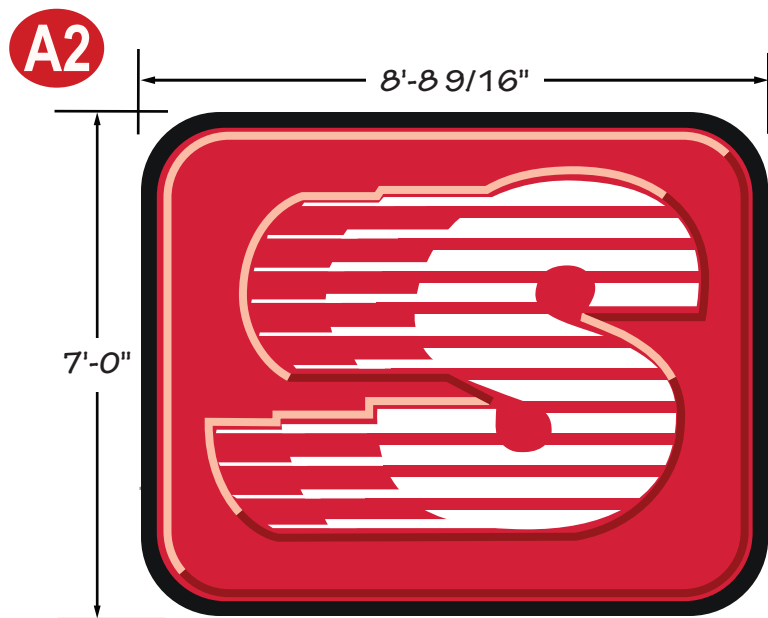
TRIM CAP: BLACK

RETURNS: 4" DEEP ALUMINUM, BLACK.

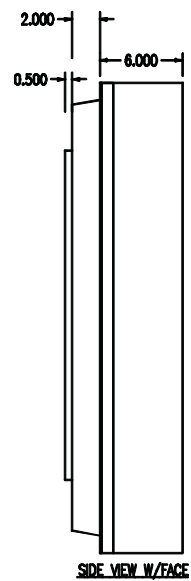
ILLUMINATION: WHITE LEDs

COLORS:





61 S.F.



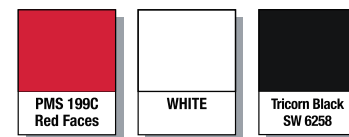
"S" SIGN BADGE

CABINET: 6" DEPTH, SF, FABRICATED ALUMINUM. CABINET & RETAINERS PAINTED TRICORN BLACK SW 6258

FACE: PAN-FORMED & EMBOSSED' CLEAR POLYCARBONATE W/2ND SURFACE VINYL, HAND CUT & BACK SPRAYED WHITE.

ILLUMINATION: WHITE LEDs

COLORS:



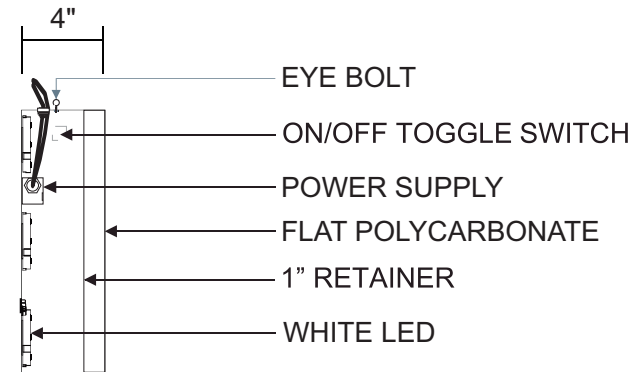
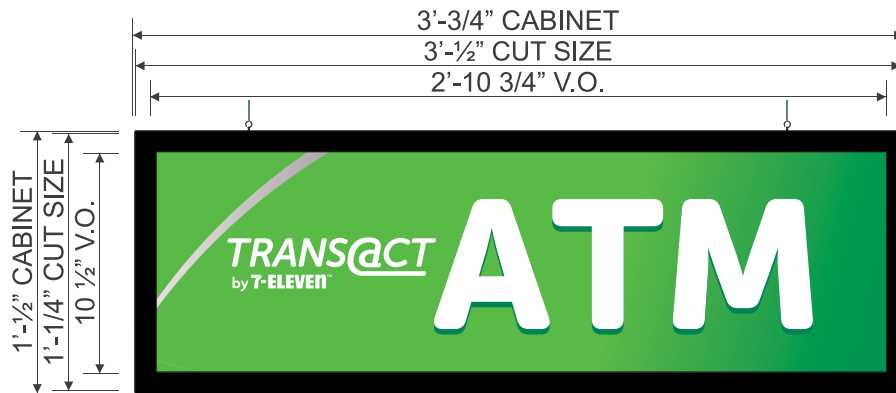
B

SPECIFICATIONS
SF INTERNALLY ILLUMINATED HANGING
SIGN (INTERIOR)

CABINET:
EXTRUDED ALUMINUM PAINTED DURANODIC
BRONZE 313E

FACE:
3/16" THICK FLAT WHITE POLYCARBONATE
WITH 1ST SURFACE DIGITAL PRINT IMAGE.

ILLUMINATION:
GE WHITE LED



**SHOWN FOR PERMITTING PURPOSES
ONLY. SIGN PROVIDED BY FCTI.**

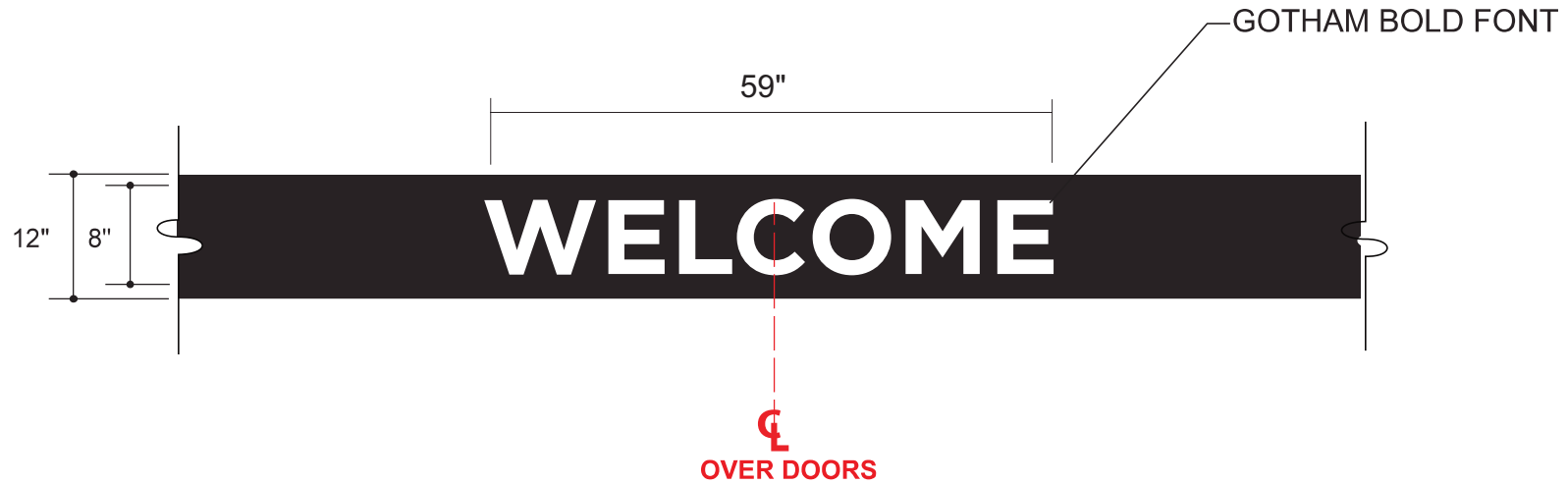
Display Square Footage (Cabinet): 3.2

Job Location: Site # 45441
8452 Beechmont Ave.
Cincinnati OH 45255
Date: December 03, 2025



D-ORDER# 1675382085.01
Project Mgr.: Taryn Schultz
taryn.schultz@cummingsigns.com
Page: 6 of 12

E



OPAQUE WHITE WELCOME VINYL LETTERS FOR FIRST SURFACE IN FIELD APPLICATION TO NEW BLDG. CANOPY FACE.

Job Location: Site # 45441
8452 Beechmont Ave.
Cincinnati OH 45255
Date: December 03, 2025

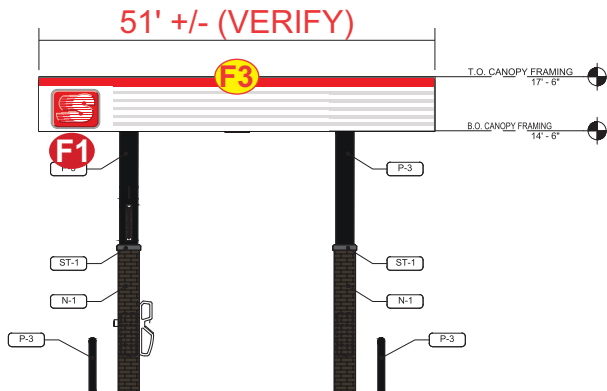


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taryn.schultz@cummingsigns.com
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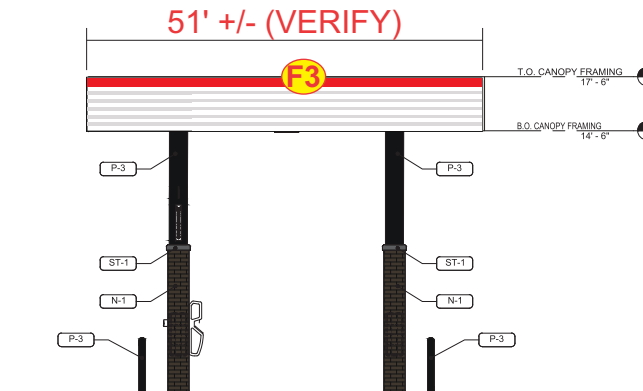
CONCEPT ELEVATIONS ONLY

FUEL CANOPY FASCIA SIGNS ONLY BY CUMMINGS

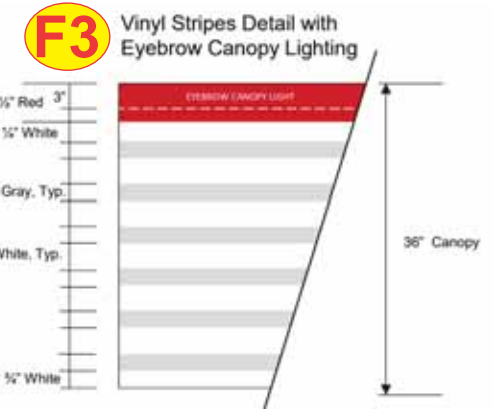
Fuel Canopy Code: Wording Allowed on Fuel Canopy, Logos allowed. Fuel Canopy signage is included in building signage calculations



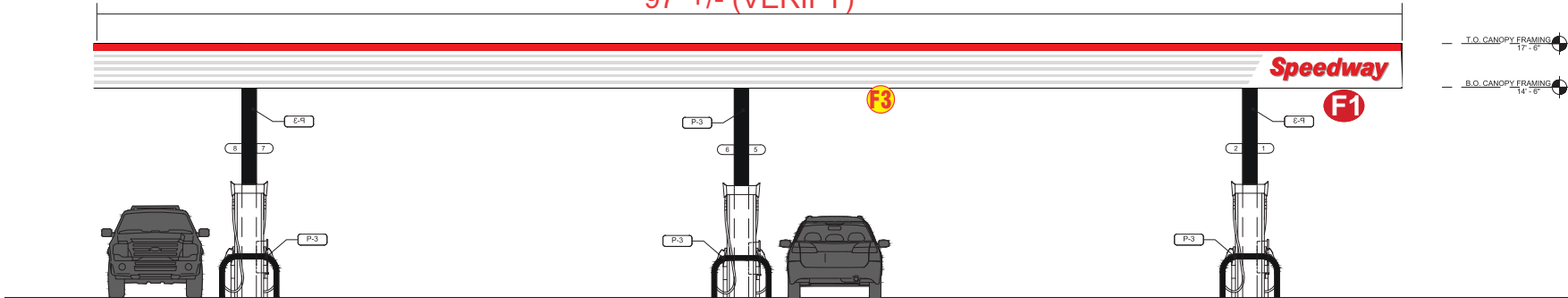
**RIGHT SIDE -BADGE SIGN BY CUMMINGS.
RED & GRAY VINYL STRIPES & EYEBROW LIGHTING BY OTHERS**



**LEFT SIDE -RED & GRAY VINYL STRIPE
& EYEBROW LIGHTING BY OTHERS**

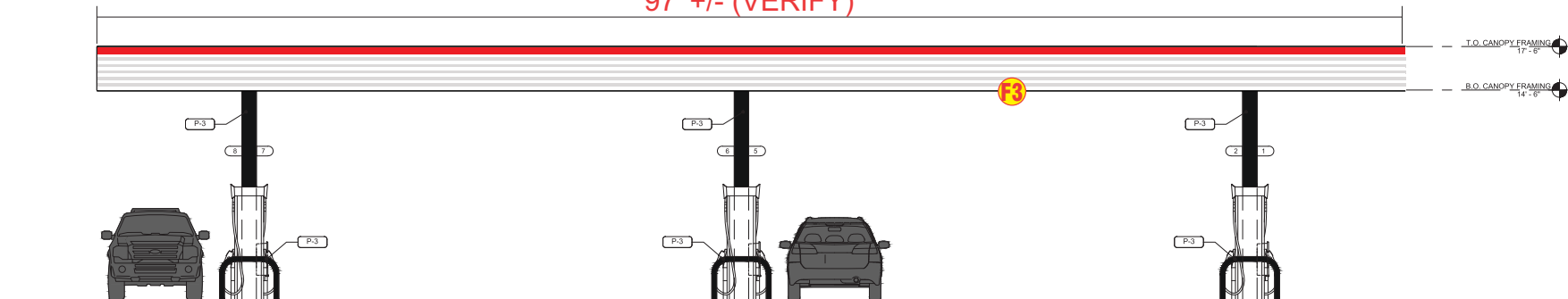


97' +/- (VERIFY)



FRONT (FACING STREET) -CHANNEL LETTER SET BY CUMMINGS. RED & GRAY VINYL STRIPES & EYEBROW LIGHTING BY OTHERS

97' +/- (VERIFY)



REAR (FACING STORE) -RED & GRAY VINYL STRIPES & EYEBROW LIGHTING BY OTHERS

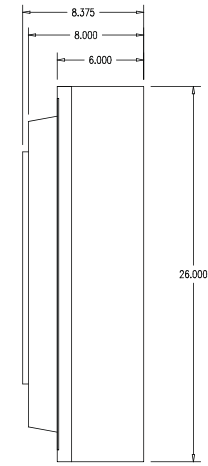
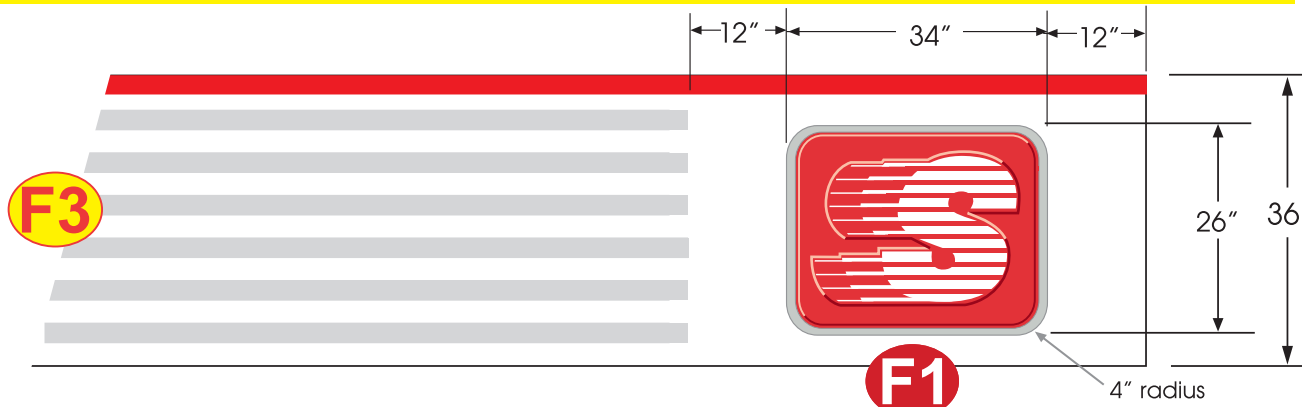
Job Location: Site # 45441
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Project Mgr.: Taryn Schultz
taryn.schultz@cummingsigns.com
Page: 8 of 12

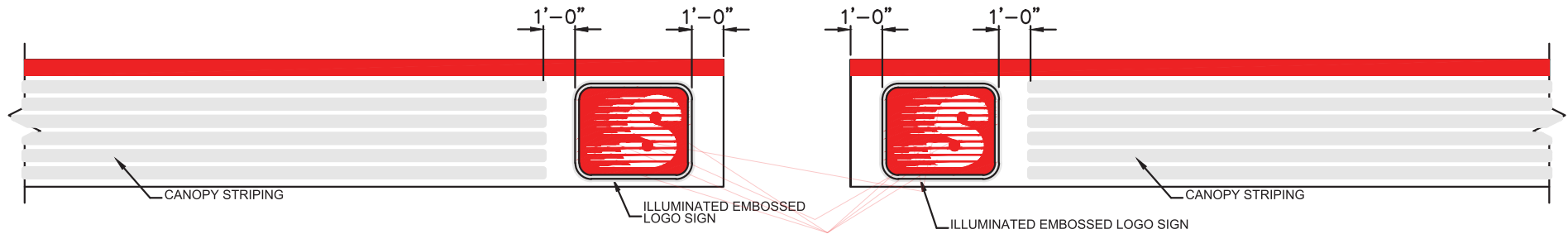
SPEEDWAY CANOPY BADGE SIGN

CANOPY STRIPING LAYOUT NEEDS TO BE PROVIDED BY THE CONSTRUCTION MANAGER NOT WHAT'S SHOWN IN THE BRAND BOOK



SIDE VIEW W/FACE

6.13 SQ. FT. - SF LED ILLUM'D CANOPY LOGO SIGN: 2'-2"x 2'-10", PAN EMBOSSED



GENERAL SPECIFICATIONS:

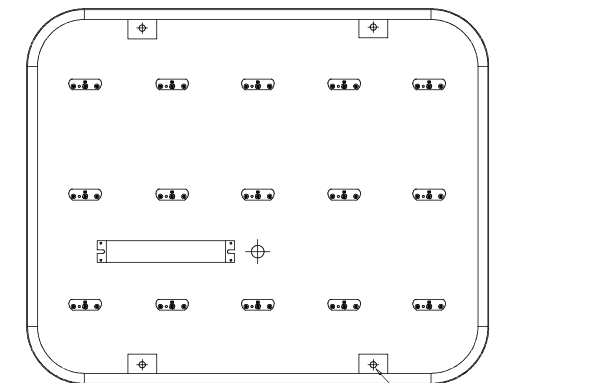
Depth: 6" cabinet; 8.5" overall depth
 Face: .177 pan embossed
 Area Squared: 6.13 Sq. Ft.
 Weight: 60 lbs. (crated)
 Wind Load: 35 psf/90 mph
 Service: Remove face to service LEDs & power supply

ELECTRICAL

Illumination: (15) White LEDs
 Line Load:
 • 0.61 AMPS @ 120 VAC 60 Hz
 • (1) 15 AMP circuit, 60 Hz, UL 48 & NEC compliant

COLOR:

Cabinet and retainer ptd. PMS 428C Gray returns



FRONT ELEVATION W/O FACE

7/16" MOUNTING HOLES FOR 3/8" BOLTS

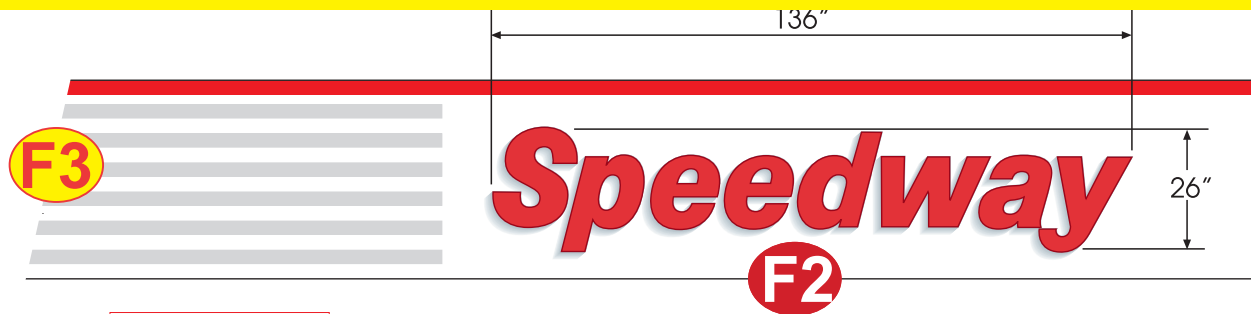
Job Location: Site # 45441
 8452 Beechmont Ave.
 Cincinnati OH 45255

Date: December 03, 2025

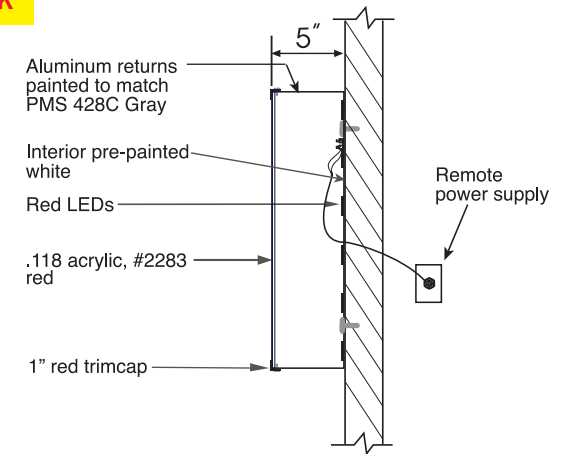


D-ORDER# 1675382085.01
Project Mgr.: Taryn Schultz
 taryn.schultz@cummingsigns.com
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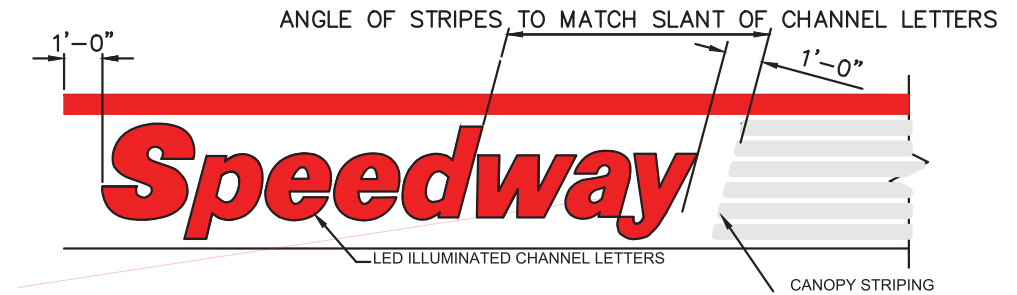
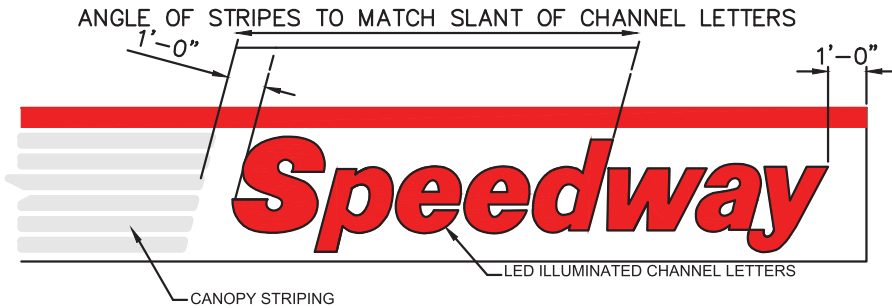
CANOPY STRIPING LAYOUT NEEDS TO BE PROVIDED BY THE CONSTRUCTION MANAGER NOT WHAT'S SHOWN IN THE BRAND BOOK



24.55 SQ. FT. - 26" LED ILLUMINATED CHANNEL LETTERS FOR CANOPY MOUNT



SIDE VIEW- INDIVIDUAL MOUNT



GENERAL SPECIFICATIONS:

- Depth: 5" returns
- Trimcap: 1" red
- Face: .118 flat red acrylic, #2283
- Area Squared: 24.55 Sq. Ft.
- Weight: (tbd) (crated)
- Wind Load: 35 psf/90 mph

ELECTRICAL

- Illumination: (92) Red LEDs
- Power Supply: (1) LED 60 WATT; 12VOLT
- Line Load:
 - 0.80 AMPS each (input)
 - Total (0.80 AMPS) @ 100-277 VAC
 - (1) 20 AMP circuit

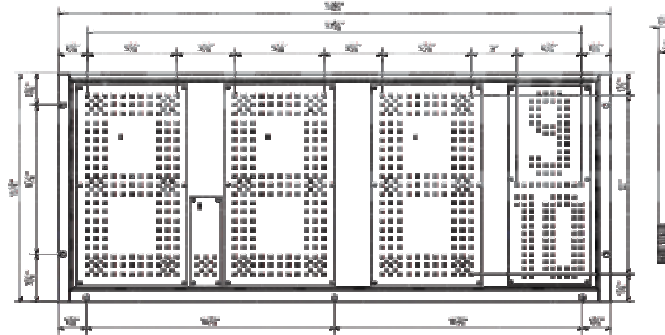
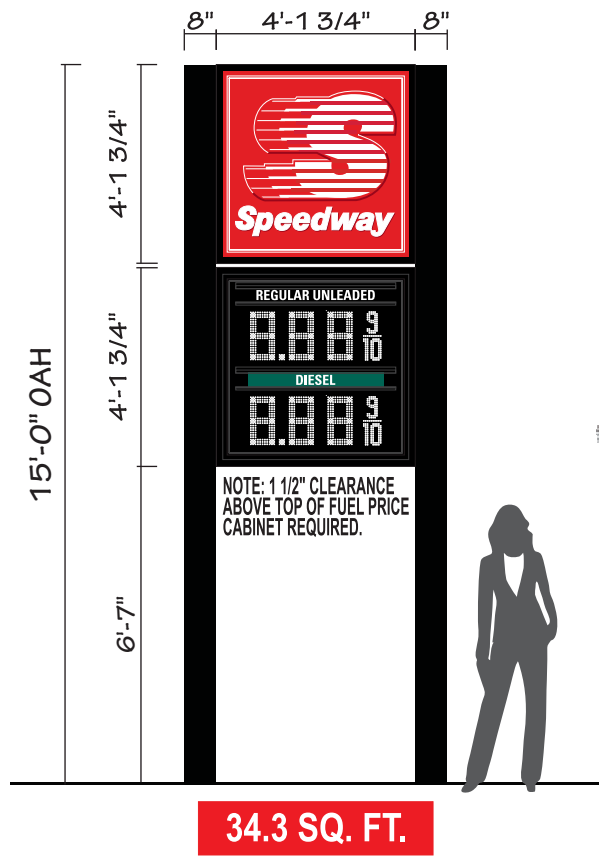
COLOR:

- PMS 428C Gray returns
- #2283 Red Acrylic Faces
- Red trimcap to match faces

Job Location: Site # 45441
 8452 Beechmont Ave.
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WORD PLATES:
 4" X 34" CLEAR ACRYLIC W/ 2.5" COPY
 WEEDED FROM BLACK VINYL TM FACE.
 4" X 34" CLEAR ACRYLIC W/ 2.5" COPY
 WEEDED FROM GREEN VINYL

DF INTERNALLY ILLUMINATED PYLON SIGN

SPEEDWAY SIGN HEAD

- 8" DEEP, DF EXTRUDED ALUMINUM CABINET & RETAINERS PAINTED TRICORN BLACK SW 6258
- PAN-FORMED & EMBOSSED POLYCARBONATE FACES W/2ND SURFACE DECORATION
- LED ILLUMINATION

FUEL PRICE SIGN HEAD

- 8" DEEP, DF EXTRUDED ALUMINUM CABINET & RETAINER PAINTED TRICORN BLACK SW 6258
- PAN-FORMED CLEAR POLYCARBONATE FACES BACK SPRAYED BLACK WITH WHITE RECTANGLES FOR FLAT CLEAR ACRYLIC WORD PLATES WITH COPY WEEDED FROM BLACK & GREEN BACK-GROUNDS TO SLIDE INTO 1ST SURFACE APPLIED CLEAR TRACKS.

FLAT PCU TACK (PWM) 12" WHITE LED DIGITS

- LED ILLUMINATION

POLES

8" SQ. TUBE PAINTED TRICORN BLACK PMS 6258

SPEEDWAY COLORS

■ RED 3M 3630-83/PMS 199C

□ WHITE 3M WHITE/PANTONE PMS WHITE

7-ELEVEN COLORS

■ 3M Scotchcal 3730-6537 Pantone PMS 336 C

Freestanding Code = Max area of 100sf allowed or .5 sf per side of sign for each lineal ft of developed property along a public street frontage, whichever is less.

Corner properties may use either street frontage to determine surface area of the sign.

Max per face = 50sf per side.

Overall, Height = 15' from Grade

Setback = 10' from property line.

Line of Site Clearance 20' from intersection

Job Location: Site # 45441
 8452 Beechmont Ave.
 Cincinnati OH 45255

Date: December 03, 2025



D-ORDER# 1675382085.01

Project Mgr.: Taryn Schultz

taryn.schultz@cummingsigns.com

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D1 ENTRANCE - ARROWS POINT TOWARD STORE

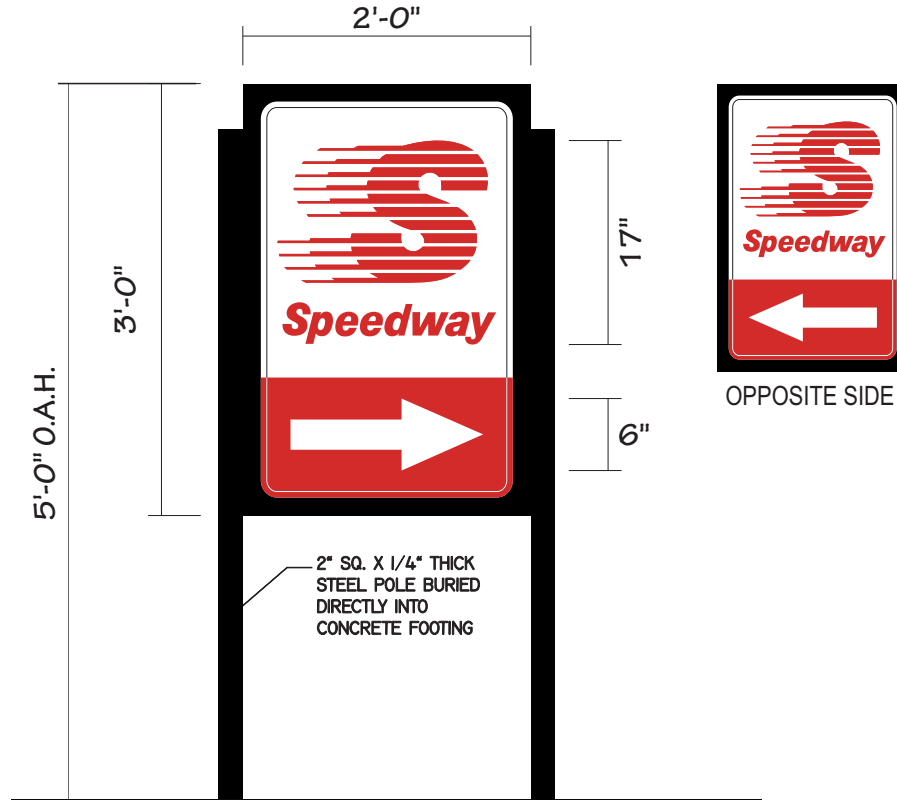
D2 ENTRANCE - ARROWS POINT TOWARD STORE

DF INTERNALLY ILLUMINATED DIRECTIONAL SIGN

- 6" DEEP DF LED ILLUMINATED CABINET 1" X 1" X 1/8" ANGLED IRON FRAME W/1.5" ALUM. RETAINERS. CABINET & RETAINERS PAINTED TRICORN BLACK.
- PAN-FORMED CLEAR POLYCARBONATE FACES W/2ND SURFACE FLAT DECORATION.
- 2" SQ. X 1/4" THICK STEEL POLES, PAINTED TRICORN BLACK, BURIED DIRECTLY INTO CONCRETE FOOTING.

SPEEDWAY COLORS

- RED 3M 3630-83/PMS 199C
- WHITE 3M WHITE/PANTONE PMS WHITE



Directional Code = 6sf allowed, and max height of 3' (very short).
 (1) per driveway allowed. Setback is min side yard of leading edge is 5'.

6 SQ. FT.

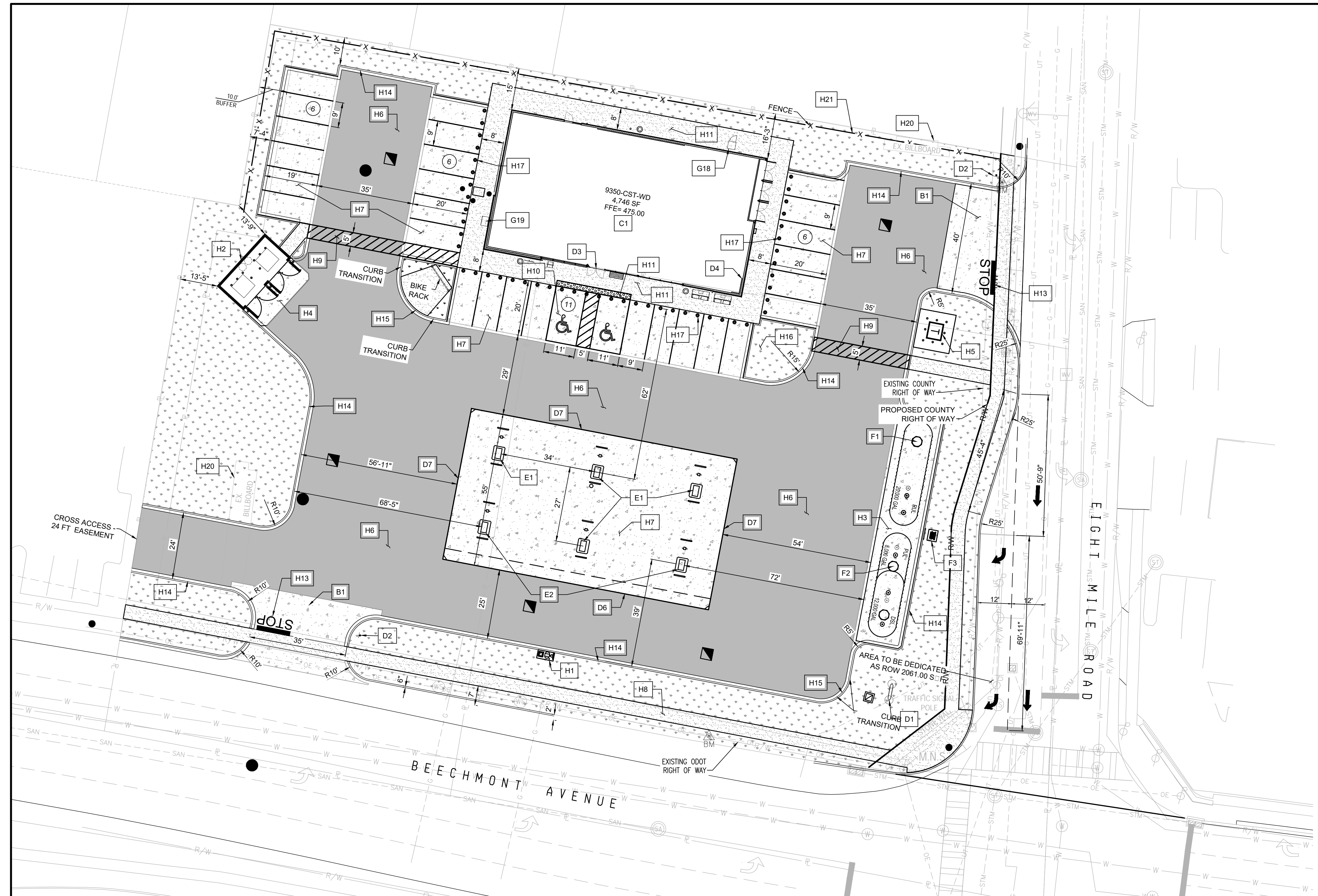
Job Location: Site # 45441
 8452 Beechmont Ave.
 Cincinnati OH 45255

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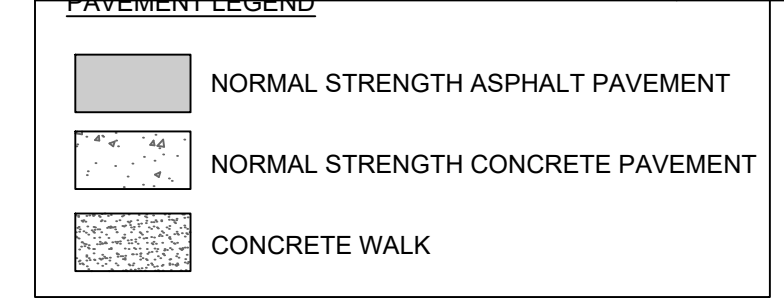
PRINTED BY: 18356
DRAWING NAME: CSB.DWG
PRINT DATE: Jan 29, 2026 - 4:33pm



- A. GENERAL NOTES**
- GENERAL SCOPE OF WORK INCLUDES: BUILDING, CANOPIES, FUEL TANKS, DISPENSERS, PARKING
 - TRUCK TURNS HAVE BEEN PERFORMED ON THIS SITE TO CONFIRM LOCATION OF USTs
 - FINAL DESIGN OF SITE SUBJECT TO LOCAL AND STATE REGULATIONS
 - PROPERTY SITE:
 - PARCEL 1: 44,039 S. FT. / 1.01 AC.
 - PARCEL 2: 40,162 S. FT. / 0.922 AC.
 - TOTAL = 84,201 S. FT. / 1.933 AC.
 - PROVIDED PARKING: 2 ADA PARKING SPACES, 25 STANDARD PARKING SPACES
- B. SITE WORK**
- FULL-ACCESS CONCRETE DRIVE APPROACH FOR AUTO
- C. BUILDING**
- PROPOSED STANDARD 9350 CST WD (4746 S.F.)
- D. EXTERIOR APPEARANCE SIGNAGE**
- DF PYLON SIGN
 - DIRECTIONAL SIGN
 - 5' 6" BADGE - SPEEDWAY LETTER SIGN SET
 - 7 BADGE WALL SIGN
 - LOGO BADGE SIGN
 - SPEEDWAY CHANNEL LETTER SET
 - RED GREY STRIPES AND DOWN LIGHTING
- E. DISPENSERS**
- 4:3:0 DISPENSERS, SUMPS AND ISLANDS
 - 2:3:1 DIESEL DISPENSERS, SUMPS AND ISLANDS
- F. UNDERGROUND STORAGE TANKS**
- 1:3:000 GALLON TANK FOR PREMIUM ETHANOL FLEX FUEL
 - 1:20,000 GALLON TANK FOR UNLEADED
- G. CANOPY**
- 55' X 97' 6" ISLAND AUTO CANOPY PER CURRENT STANDARDS
- H. SITE NOTES**
- PROPOSED AIR SERVICE ISLAND
 - PROPOSED DUMPSTER ENCLOSURE
 - PROPOSED CONCRETE TANK SLAB
 - PROPOSED CONCRETE DUMPSTER SLAB
 - PROPOSED CONCRETE TRANSFORMER SLAB
 - PROPOSED NORMAL STRENGTH ASPHALT PAVEMENT
 - PROPOSED NORMAL STRENGTH CONCRETE PAVEMENT
 - PROPOSED CONCRETE 5 FEET WIDE SIDEWALK TYP.
 - PROPOSED 5 FEET WIDE CROSSWALK
 - PROPOSED ADA PARKING WITH ADA SIGN
 - PROPOSED ADA RAMP WITH DETECTABLE WARNING STRIP
 - PROPOSED CONCRETE SIDEWALK FLUSH WITH BUILDING TYP.
 - PROPOSED STOP BAR
 - PROPOSED CONCRETE CURB AND GUTTER TYP.
 - PROPOSED CONCRETE CURB TRANSITION
 - PROPOSED INTERNAL LANDSCAPE AREA
 - PROPOSED BOLLARDS TYP.
 - PROPOSED CO2 TANK AND FENCE. COORDINATE FINAL LOCATION WITH ARCHITECTURAL PLANS.
 - PROPOSED PROPANE SALE AREA. COORDINATE FINAL LOCATION WITH ARCHITECTURAL PLANS.
 - EXISTING BILLBOARD TO REMAIN
 - 6" WOOD PRIVACY FENCE BETWEEN PROPOSED DEVELOPMENT AND RESIDENTIAL PROPERTIES

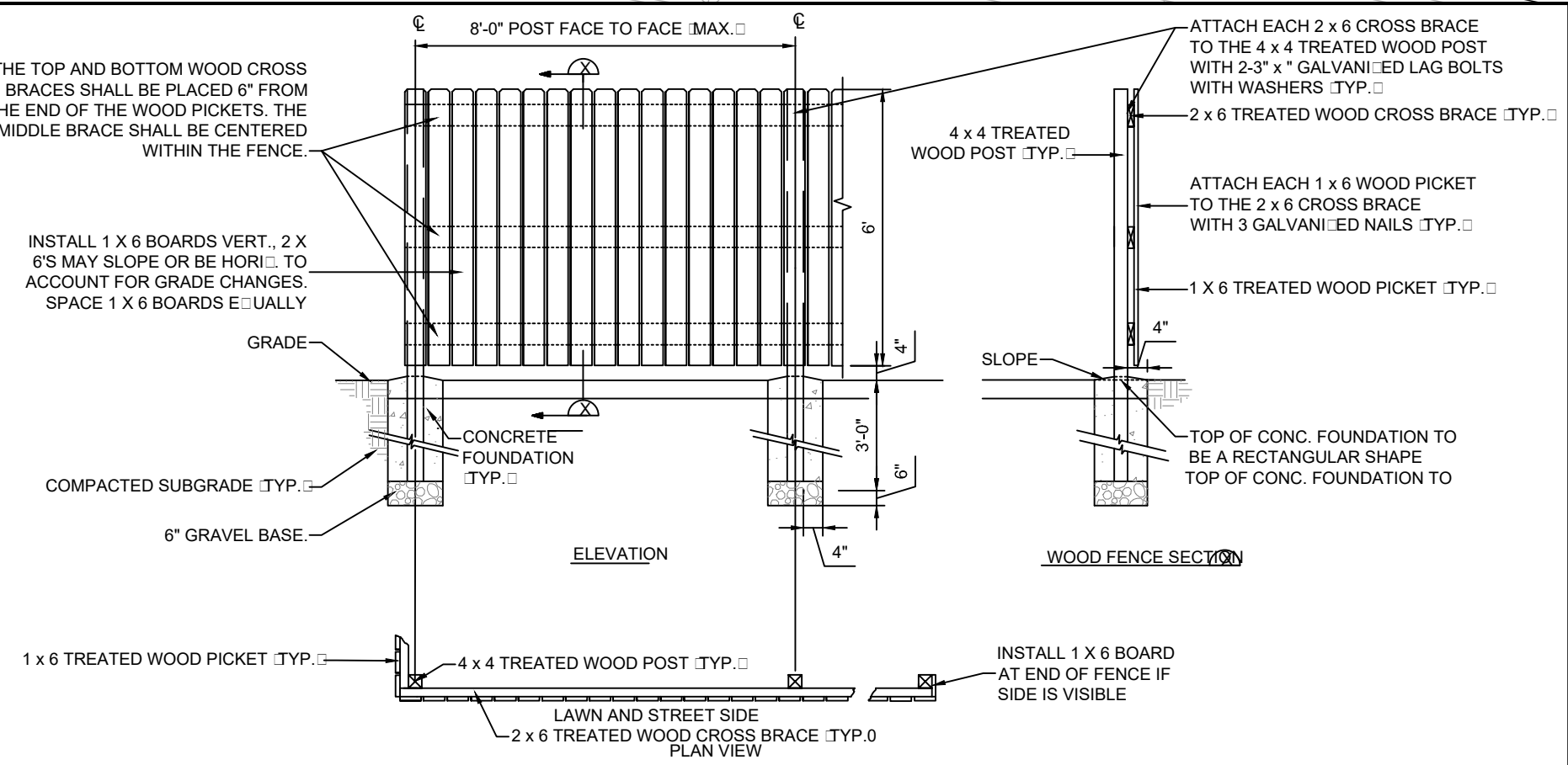
ZONING INFORMATION			
LOCATION: 8352 BEECHMONT AVENUE, CINCINNATI, OHIO.			
ZONE: C-2			
USE: HIGHWAY GENERAL COMMERCIAL			
ITEM #	ITEM	REQUIREMENTS	PROPOSED
1	MINIMUM FRONT BUILDING SETBACK	30 FEET FROM OF BEECHMONT AVENUE	194 FEET
2	MINIMUM REAR / SIDE BUILDING SETBACK	15 FEET	VARIES SEE PLAN
3	MAXIMUM BUILDING HEIGHT	45 FEET	45 FEET
4	MAXIMUM IMPERVIOUS COVERAGE	90% existing	75%
5	MINIMUM FRONT PARKING SETBACK	15 FEET	57 FEET
6	MINIMUM REAR PARKING SETBACK	15 FEET	15 FEET

PARKING INFORMATION			
ITEM #	ITEM	REQUIREMENTS	PROPOSED
1	BUILDING SIZE	N/A	4746 S.F.
2	PARKING REQUIRED	C-STORE SPACES = 19 1 SPACES PER FUEL PUMP = 12 TOTAL REQUIRED SPACES = 31	29 SPACES
3	DRIVE - THRU STACKING		
4	MINIMUM HANDICAPPED PARKING SPACES REQUIRED	1 SPACE	2 SPACES
5	MINIMUM PARKING DIMENSIONS	9' x 19'	9' x 19' / 9' x 20'
6	MINIMUM AISLE WIDTH	24 FEET	35 FEET
6	MINIMUM INTERIOR LANDSCAPING	10' MINIMUM INTERNAL	AS SHOWN



IMPERVIOUS SURFACE RATIO PROPOSED	
SURFACE TYPE	AREA
IMPERVIOUS: ASPHALT/ CONCRETE/ ROOFING	48,968 s.f.
PERVIOUS: GREEN AREA	14,510 s.f.
TOTAL PROPERTY	65,708 s.f.
ISR = IMPERVIOUS/TOTAL	75%

IMPERVIOUS SURFACE RATIO EXISTING	
SURFACE TYPE	AREA
IMPERVIOUS: ASPHALT/ CONCRETE/ ROOFING	61,294 s.f.
PERVIOUS: GREEN AREA	6,917 s.f.
TOTAL PROPERTY	68,211 s.f.
ISR = IMPERVIOUS/TOTAL	90%



Rev. #	Date	Description

7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING, TEXAS 75063

7-ELEVEN #145441
8352 BEECHMONT AVENUE
CINCINNATI, OH 45255

PRELIMINARY SITE PLAN

Scale: 1" = 20'-0"

Date: 01/23/2026

Drawn By: A. HERNANDEZ

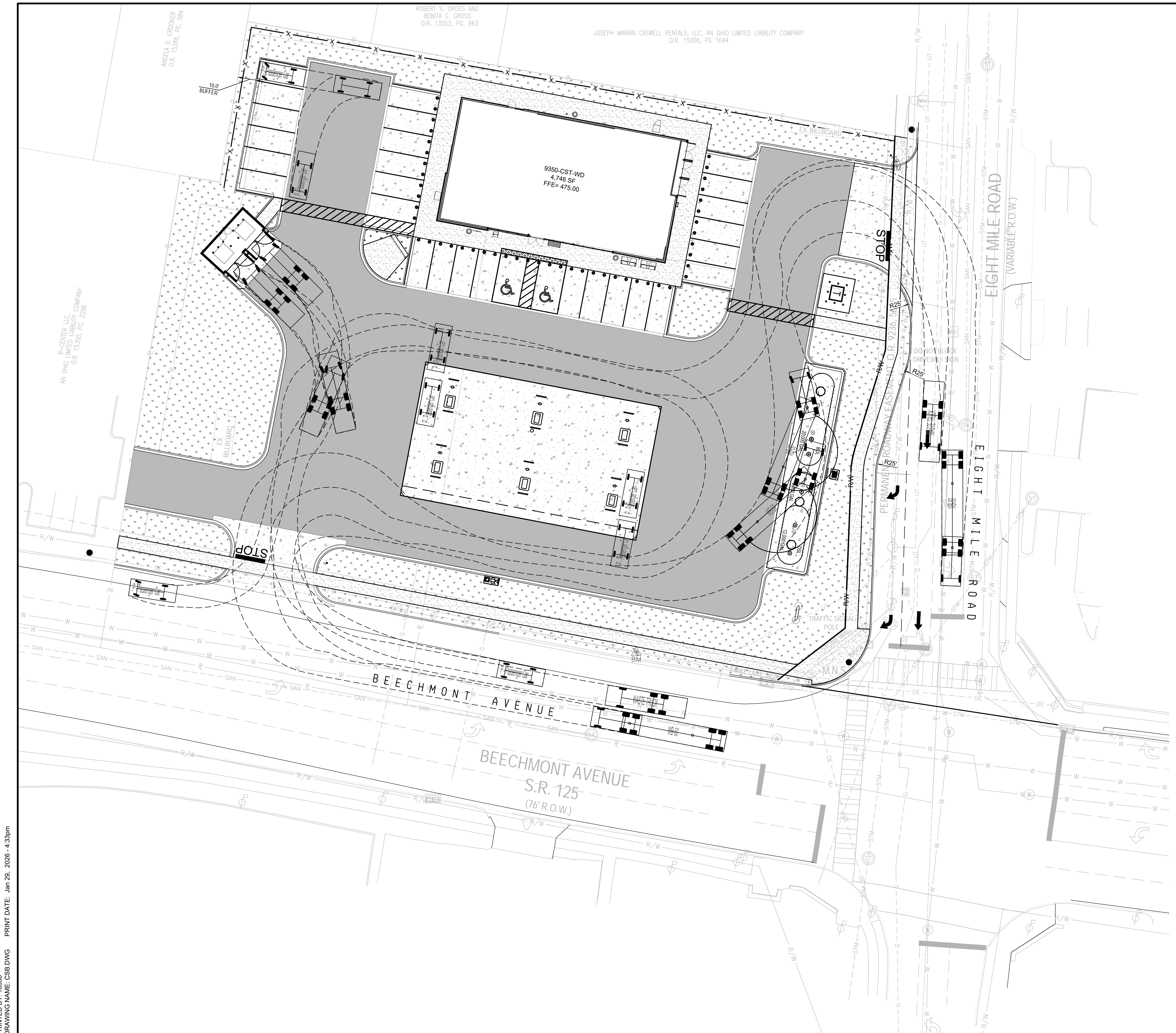
Checked By: S. CHARTIER

SHEET: CS

PLAN CERTIFICATE NOTE:
ORIGINAL ALTA, TOPOGRAPHY, UTILITIES, AND ALL OTHER EXISTING CONDITION ITEMS WERE PREPARED BY LJB ENGINEERING, FOR 7-ELEVEN INC.

Know what's below.
Call before you dig.

GRAPHIC SCALE: 1" = 20'

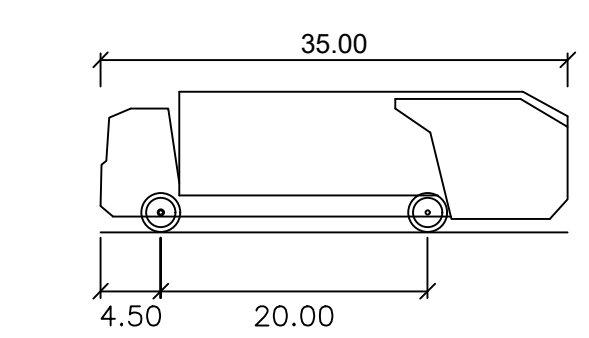
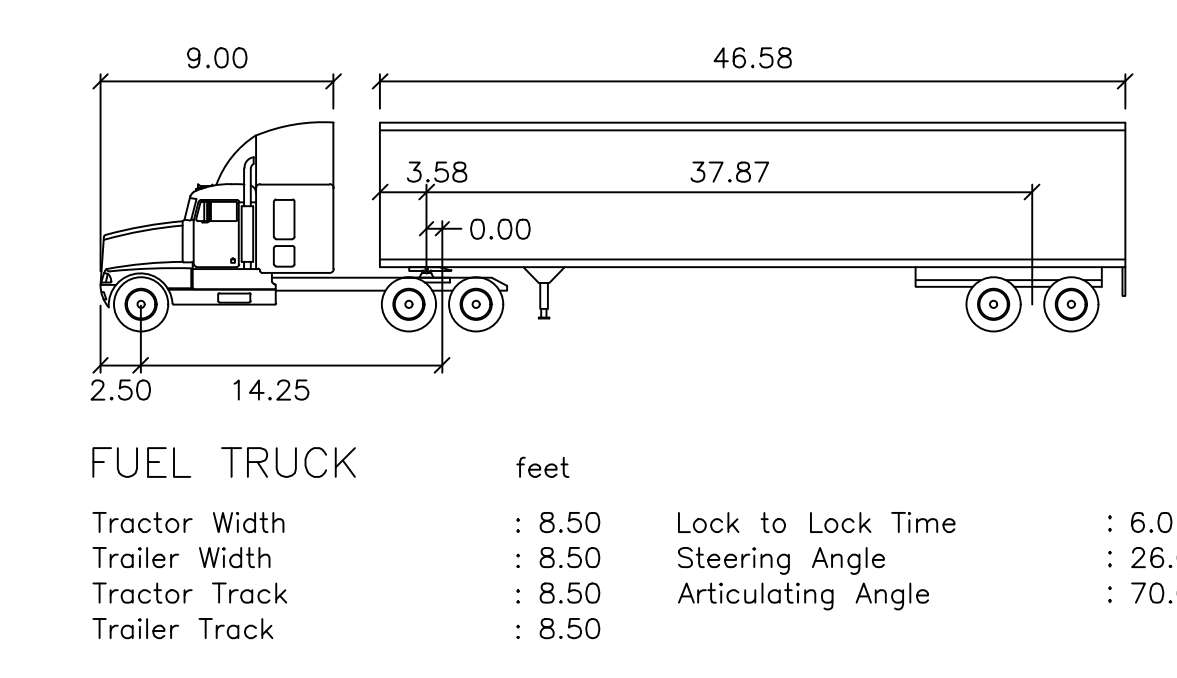


ANGELA D. CROOKER
O.R. 15286, PG. 564

ROBERT S. GROSS AND
BONITA G. GROSS
O.R. 13553, PG. 963

JOSEPH MARIAN CASWELL RENTALS, LLC, AN OHIO LIMITED LIABILITY COMPANY
O.R. 15006, PG. 1644

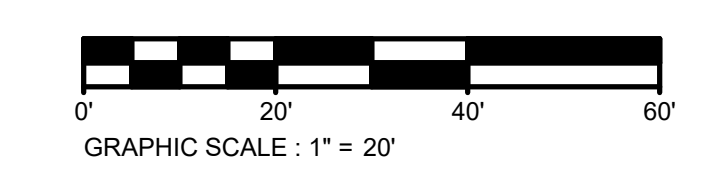
R-CENTER LLC
AN OHIO LIMITED LIABILITY COMPANY
O.R. 15300, PG. 2296



PAVEMENT LEGEND

	NORMAL STRENGTH ASPHALT PAVEMENT
	NORMAL STRENGTH CONCRETE PAVEMENT
	CONCRETE WALK

PLAN CERTIFICATE NOTE:
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Rev. #	Date	Description

7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING, TEXAS 75063

7-ELEVEN #145441
8352 BEECHMONT AVENUE
CINCINNATI, OH 45235

CIRCULATION PLAN

Scale: 1" = 20'-0"

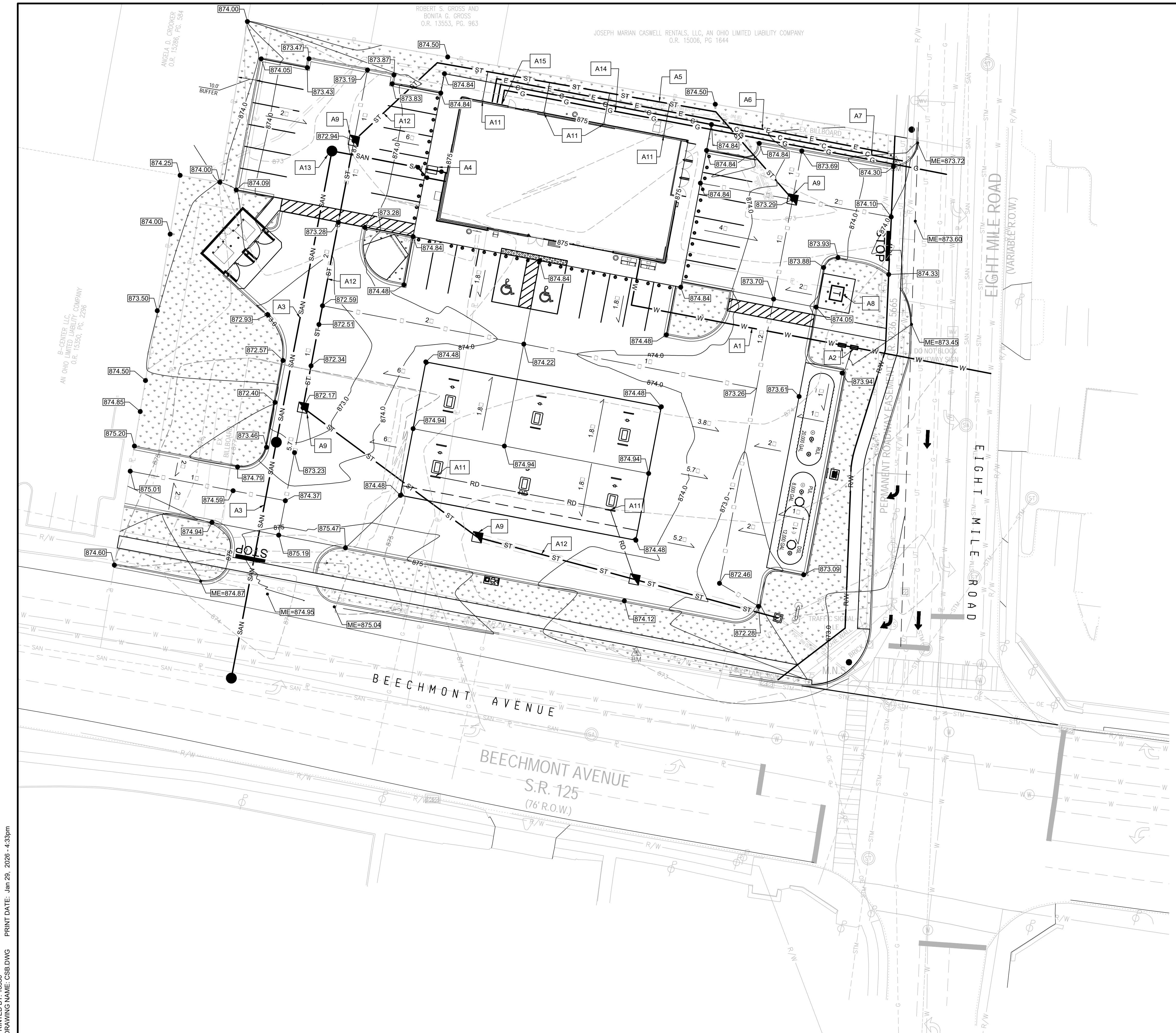
Date: 01/23/2026

Drawn By: A. HERNANDEZ

Checked By: S. CHARTIER

SHEET: CR

PRINTED BY: 18366
DRAWING NAME: CSB.DWG
PRINT DATE: Jan 23, 2026 - 4:33pm



UTILITY LEGEND		
DESCRIPTION	PROPOSED	EXISTING
UNDERGROUND ELECTRIC	—E—	<E>
OVERHEAD ELECTRIC	E	E
POWER POLE	●	○
LIGHT POLE	□ ⊕	□ ⊕
UNDERGROUND COMMUNICATIONS	—C—	<C>
SANITARY SEWER	—S—	S
NATURAL GAS	—G—	G
DOMESTIC WATER	—W—	W
STORM SEWER	—ST—	ST
CFL AIR	A	A
MANHOLE	●	●
CATCH BASIN	■	■
HEADWALL		
CLEAN OUT	•	•
MAJOR CONTOUR	—%—	—%—
MINOR CONTOUR	—%—	—%—
SWALE CENTERLINE	—	—

STRUCTURE LABELS	
ST	STORM
S	SANITARY
MH	MANHOLE
CB	CATCH BASIN
CO	CLEAN OUT

A. GENERAL NOTES

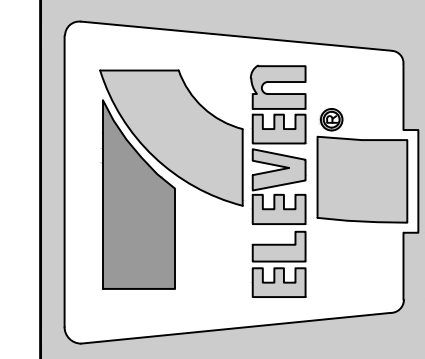
- 2" HDPE WATER SERVICE
- WATER METER
- 6" PVC SANITARY SERVICE 10' MIN.
- 1,000 GAL. GREASE TRAP
- 8" PVC ROOF LEADER 10' MIN.
- ELECTRIC SERVICE
- TELECOMMUNICATION SERVICE
- TRANSFORMER
- STORM WATER CATCH BASIN
- STORM WATER MANHOLE
- ROOF DRAIN CONNECTION
- STORM WATER PIPE
- SANITARY MANHOLE
- GAS SERVICE
- GAS METER

Rev. #	Date	Description

7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING, TEXAS 75063

7-ELEVEN #145441
8352 BEECHMONT AVENUE
CINCINNATI, OH 45235

GRADING □ UTILITIES PLAN



Scale: 1" = 20'-0" 0' 20'

Date: 01/23/2026

Drawn By: A. HERNANDEZ

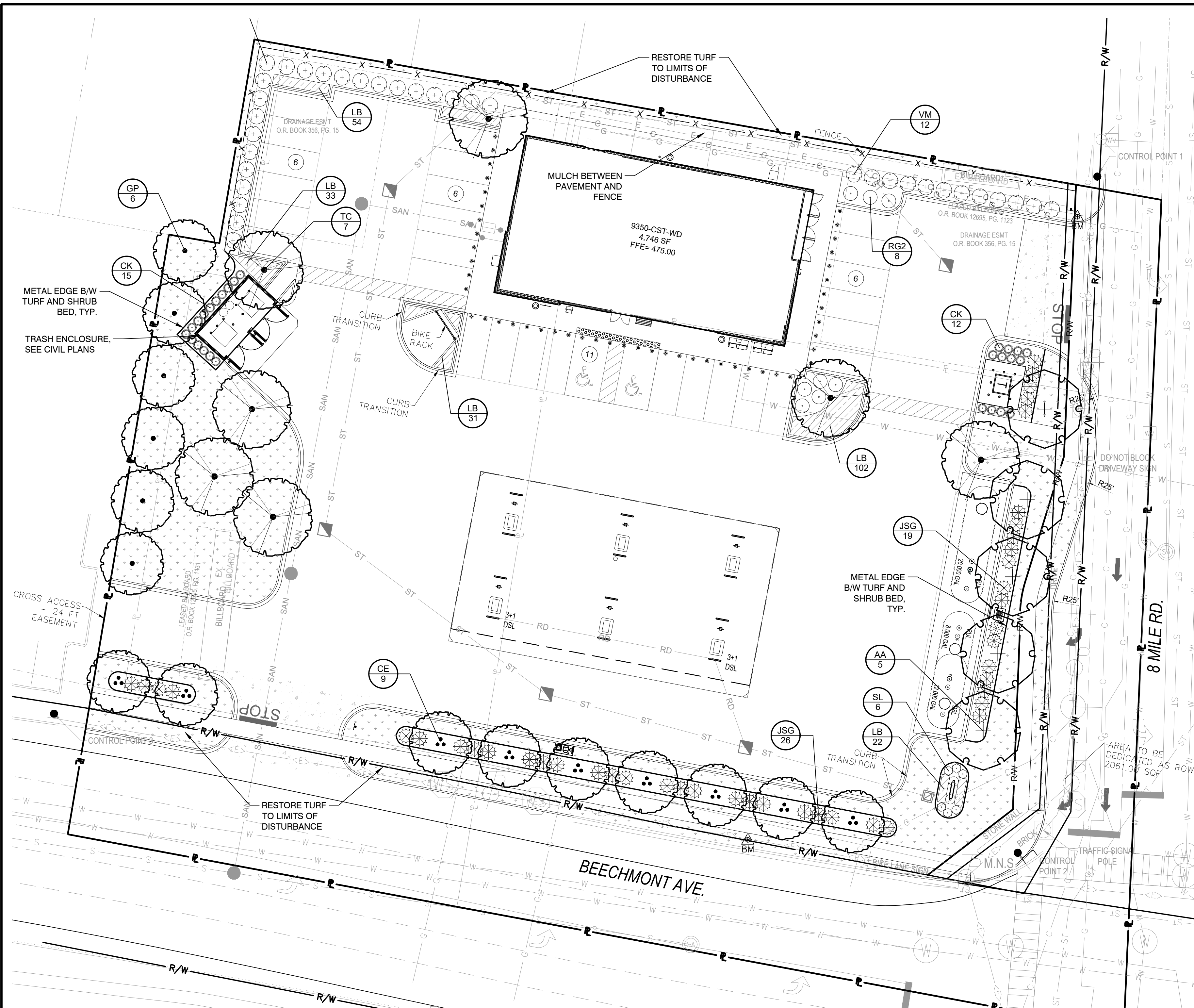
Checked By: S. CHARTIER

PLAN CERTIFICATE NOTE:
ORIGINAL ALTA, TOPOGRAPHY, UTILITIES, AND ALL OTHER EXISTING CONDITION ITEMS WERE PREPARED BY LJB ENGINEERING. FOR 7-ELEVEN INC.

GRAPHIC SCALE: 1" = 20'



SHEET:
CGU



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	MIN. SIZE	QTY
TREES					
	AA	Acer x freemanii 'Jeffersred' / Autumn Blaze® Freeman Maple	Cont. or B&B	2" Cal.	5
	CE	Cercis canadensis / Eastern Redbud Multi-trunk	Cont. or B&B	3-5 Canes, 2" cal. total	9
	GP	Ginkgo biloba 'PNI 2720' / Princeton Sentry® Maidenhair Tree	Cont. or B&B	2" Cal.	6
	TC	Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden	Cont. or F.G.	2.5" Cal.min.	7
SHRUBS					
	CK	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	1 gal.	Per Plan	27
	JSG	Juniperus chinensis 'Sea Green' / Sea Green Juniper	Cont.	5 Gal.	45
	RG2	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal.	60" OC	8
	SL	Spiraea japonica 'Little Princess' / Little Princess Japanese Spirea	Cont.	5 Gal.	6
	VM	Viburnum dentatum 'Blue Muffin' / Blue Muffin Arrowwood Viburnum	Cont.	5 Gal.	35
SHRUB AREAS					
	LB	Liriope muscari 'Big Blue' / Big Blue Lilyturf	Cont.	1 gal., full	242
TURF					
	RTF	RTF® Sod / Rhizomatous Tall Fescue	Sod		

LANDSCAPE CALCULATIONS

PERMITTING AUTHORITY:	ANDERSON TOWNSHIP, OH
ZONING:	E - BUSINESS DISTRICT
ADJACENT ZONING:	E - BUSINESS DISTRICT
PARKING PERIMETER LANDSCAPING	
BEECHMONT AVE.:	
LENGTH OF PERIMETER:	254 LF (EXCLUSIVE OF DRIVEWAYS)
TREES REQUIRED:	9 TREES (1 SHADE OR EVERGREEN TREE PER 30 LF)
TREES PROVIDED:	9 ORNAMENTAL TREES (OVERHEAD UTILITIES PRESENT)
SHRUBS REQUIRED:	26 SHRUBS (1 SHRUB PER 10 LF)
SHRUBS PROVIDED:	26 SHRUBS
8 MILE RD.:	
LENGTH OF PERIMETER:	186 LF
TREES REQUIRED:	6 TREES (1 SHADE OR EVERGREEN TREE PER 30 LF)
TREES PROVIDED:	5 SHADE TREES (UTILITY CONFLICTS)
SHRUBS REQUIRED:	19 SHRUBS (1 SHRUB PER 10 LF)
SHRUBS PROVIDED:	19 SHRUBS
NORTH PARKING PERIMETER W/ WALL OR FENCE:	
LENGTH OF PERIMETER:	150 LF
TREES REQUIRED:	4 TREES (1 EVERGREEN TREE PER 40 LF)
TREES PROVIDED:	0 TREES (PLACED ALONG WEST BOUNDARY DUE TO UTILITY CONFLICTS)
SHRUBS REQUIRED:	12 SHRUBS (3 SHRUBS PER 40 LF)
SHRUBS PROVIDED:	12 SHRUBS
WEST PARKING PERIMETER W/ WALL OR FENCE:	
LENGTH OF PERIMETER:	55 LF
TREES REQUIRED:	2 TREES (1 EVERGREEN TREE PER 40 LF)
TREES PROVIDED:	6 TREES (INCLUDES NORTH PERIMETER TREES)
SHRUBS REQUIRED:	5 SHRUBS (3 SHRUBS PER 40 LF)
SHRUBS PROVIDED:	5 SHRUBS
PARKING LOT INTERIOR LANDSCAPING	
AREA OF PARKING LOT INTERIOR:	18,556 SF
LANDSCAPE AREA REQUIRED:	1,856 SF (10% OF PARKING LOT AREA)
LANDSCAPE AREA PROVIDED:	1,892 SF
PARKING TREES (IN ISLANDS) REQUIRED:	7 TREES (1 TREE PER 2,500 SF OF PARKING LOT AREA)
PARKING TREES (IN ISLANDS) PROVIDED:	7 TREES (3 PROVIDED ELSEWHERE ON-SITE DUE TO UTILITY CONFLICTS)
PARKING SHRUBS (IN ISLANDS) REQUIRED:	15 SHRUBS (2 SHRUBS PER 2,500 SF OF PARKING LOT AREA)
PARKING SHRUBS (IN ISLANDS) PROVIDED:	15 SHRUBS
EACH ISLAND SHALL CONTAIN A MINIMUM OF 1 TREE AND 2 SHRUBS	PROVIDED

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES, PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- CONTRACTOR SHALL PROVIDE AND INSTALL SOLID SOD IN ALL RIGHT-OF-WAYS AND PARKWAYS (UNLESS NOT ALLOWED BY THE LOCAL JURISDICTION) AND SHALL PROVIDE WATERING AND MAINTENANCE UNTIL THE TURF IS ESTABLISHED AND HAS BEEN ACCEPTED BY OWNER.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- AFTER FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, CONTRACTOR IS TO PROVIDE SUGGESTED MAINTENANCE, WATERING SCHEDULE, WEEDING SCHEDULE, AND FERTILIZATION SCHEDULE.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING, CURBS, WATER, STORM, OR SANITARY SEWER UTILITIES. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCLOSE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 2" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE 'GENERAL GRADING AND PLANTING NOTES' AND SPECIFICATIONS).

PLANTING & IRRIGATION GUARANTEE

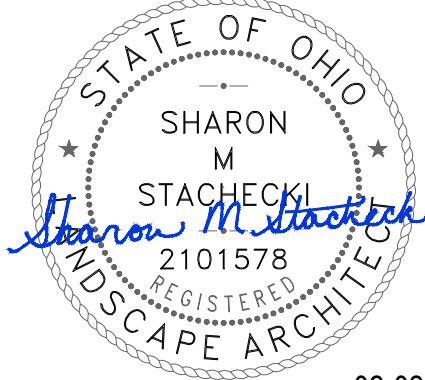
THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDING AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.



Scale 1" = 20'



7-ELEVEN, INC. 3200 HACKBERRY ROAD, IRVING, TEXAS 75063	7-ELEVEN #145441 8352 BEECHMONT AVENUE CINCINNATI, OH 45235	COVER SHEET
Scale: 1" = 20'-0"	Date: 01/30/2026	Drawn By: JP
		Checked By: SS
LANDSCAPE PLANTING PLAN		SHEET: LP-1

PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
 1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
 2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
 3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID CONTRACTOR'S LICENSE ISSUED BY THE APPROPRIATE LOCAL JURISDICTION.
- B. SCOPE OF WORK
 1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORT AND INSTALLATION OF MATERIALS.
 3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
 1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
 2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCRUCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
 3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
 4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHEN CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
 8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- D. SEED: PROVIDE BLEND OF SPECIES AND VARIETIES AS NOTED ON THE PLANS, WITH MAXIMUM PERCENTAGES OF PURITY, GERMINATION, AND MINIMUM PERCENTAGE OF WEED SEED AS INDICATED ON PLANS. EACH BAG OF SEED SHALL BE ACCOMPANIED BY A TAG FROM THE SUPPLIER INDICATING THE COMPOSITION OF THE SEED.
- E. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2" INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- F. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- G. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- H. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- I. TREE STAKING AND GUYING
 1. STAKES: 6' LONG GREEN METAL T-POSTS.
 2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
 3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH FASTENMENTS TO PROTECT TREE TRUNKS FROM DAMAGE.
- J. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
- K. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

- A. SOIL PREPARATION
 1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 2. SOIL TESTING:
 - a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
 - b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
 - c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING.
 - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
 - iii. "CLAY BUSTER" OR J' LANDSCAPERS COMPOST - USE MANUFACTURER'S RECOMMENDED RATE
 - b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING.
 - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
 - iii. "CLAY BUSTER" OR J' LANDSCAPERS COMPOST - USE MANUFACTURER'S RECOMMENDED RATE
 - c. IRON SULPHATE - 2 LBS. PER CU. YD.

- 5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- 6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

- B. SUBMITTALS
 1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
 2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
 3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
 4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING
 1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
 2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
 3. TRENCHING NEAR EXISTING TREES:
 - a. CONTRACTOR SHALL DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER, WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN 24 HOURS.
 - d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS UNLESS IF LOCAL JURISDICTION REQUIRES OR OAK TREES LOCATED IN OAK WILT SUSCEPTIBLE AREAS.

- C. TREE PLANTING
 1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
 2. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
 3. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
 4. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 - a. 1'-2" TREES TWO STAKES PER TREE
 - b. 2-1/2"-4" TREES THREE STAKES PER TREE
 - c. TREES OVER 4" CALIPER GUY AS NEEDED
 - d. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 - e. #15 CONT. - 24" BOX TREES TWO STAKES PER TREE
 - f. 36"-48" BOX TREES THREE STAKES PER TREE
 - g. OVER 48" BOX TREES GUY AS NEEDED
 - h. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 5. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
- D. SHRUB, PERENNIAL, AND GROUND COVER PLANTING
 1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
 2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
 3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.

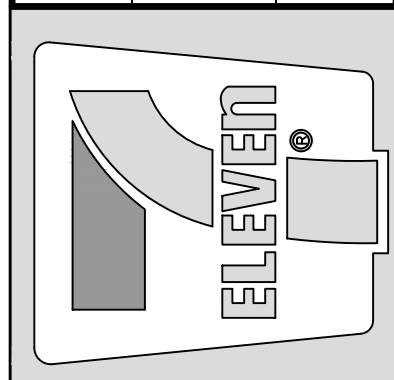
- E. SODDING
 1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
 2. LAY SOD WITHIN 24 HOURS FROM TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
 3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
 4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
 5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.

F. HYDROMULCHING

1. TURF HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
 - a. WINTER MIX (OCTOBER 1 - MARCH 31)
 - 50# CELLULOSE FIBER MULCH
 - 2# HULLED TALL FESCUE SEED
 - 2# ANNUAL RYE SEED
 - 15# 15-15-15 WATER SOLUBLE FERTILIZER
 - b. SUMMER MIX (APRIL 1 - SEPTEMBER 30)
 - 50# CELLULOSE FIBER MULCH
 - 2# HULLED TALL FESCUE SEED
 - 15# 15-15-15 WATER SOLUBLE FERTILIZER
 2. SEED HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
 - a. GENERAL
 - 50# CELLULOSE FIBER MULCH
 - 15# 15-15-15 WATER SOLUBLE FERTILIZER
- SEED RATE PER LEGEND
- G. DRILL SEEDING
 1. ALL SEED SHALL BE DRILL SEEDDED AT THE RATES SHOWN ON THE PLANS, WITH A HYDROMULCH MIX APPLIED AFTER SEEDING.
 2. THE HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
 - 50# CELLULOSE FIBER MULCH
 - 15# 15-15-15 WATER SOLUBLE FERTILIZER
 - 4# ORGANIC BINDER
 - H. MULCH
 1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
 2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE SPECIFIED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
 - I. CLEAN UP
 1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
 2. LEGALLY DISPOSE ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
 - J. INSPECTION AND ACCEPTANCE
 1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
 2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
 3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
 - K. LANDSCAPE MAINTENANCE
 1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
 2. SHOULD SEEDDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
 3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEEDED OR RESEEDDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
 2. WARRANTY PERIOD: PLANT GUARANTEE AND REPLACEMENTS
 1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED/HYDROMULCHED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
 2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
 - M. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

Rev. #	Date	Description

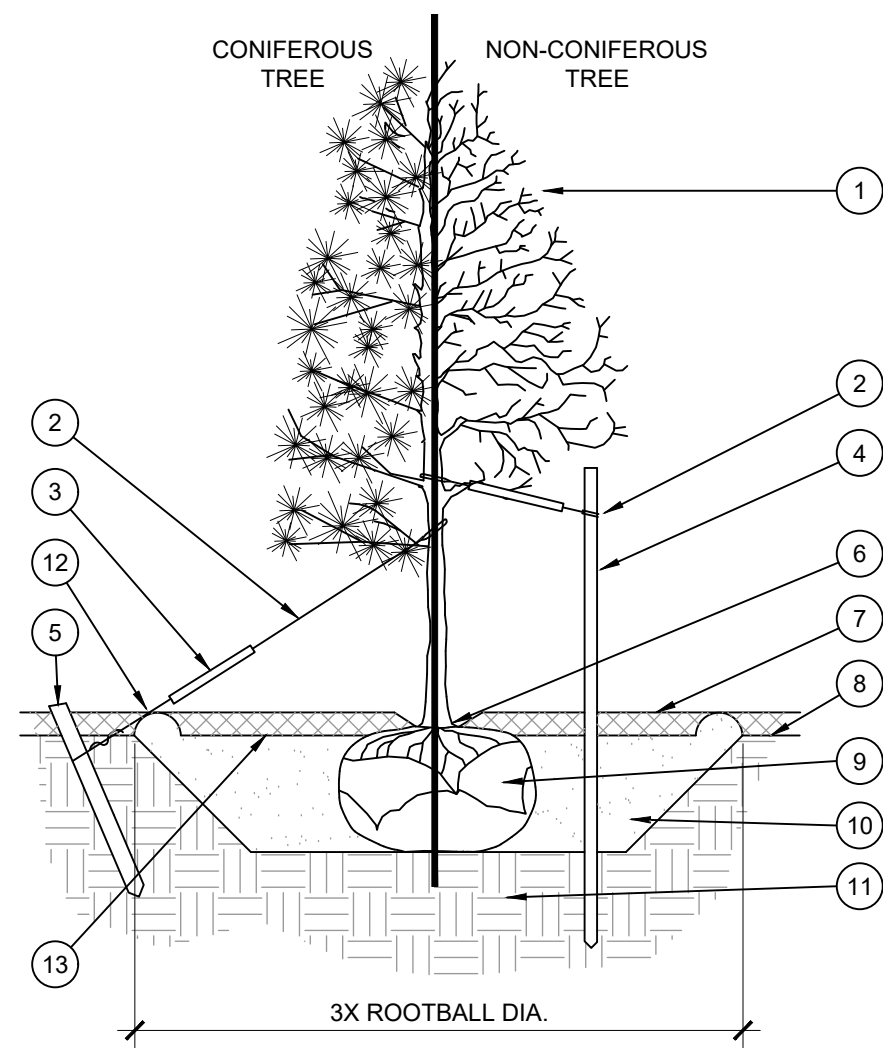
7-ELEVEN, INC.
 3200 HACKBERRY ROAD, IRVING, TEXAS 75063
 7-ELEVEN #145441
 8352 BEECHMONT AVENUE
 CINCINNATI, OH 45295



Scale: 1" = 20'-0"
 Date: 01/30/2026
 Drawn By: JP
 Checked By: SS

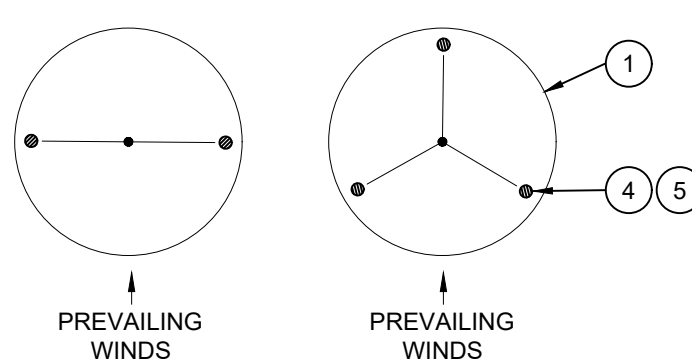
LANDSCAPE SPECS
 SHEET:
 LP-2





- 1 TREE CANOPY.
- 2 CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
- 3 24" X 3/4" P.V.C. MARKERS OVER WIRES.
- 4 GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
- 5 PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
- 6 TRUNK FLARE.
- 7 MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
- 8 FINISH GRADE.
- 9 ROOT BALL.
- 10 BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- 11 UNDISTURBED NATIVE SOIL.
- 12 4" HIGH EARTHEN WATERING BASIN.
- 13 FINISH GRADE.

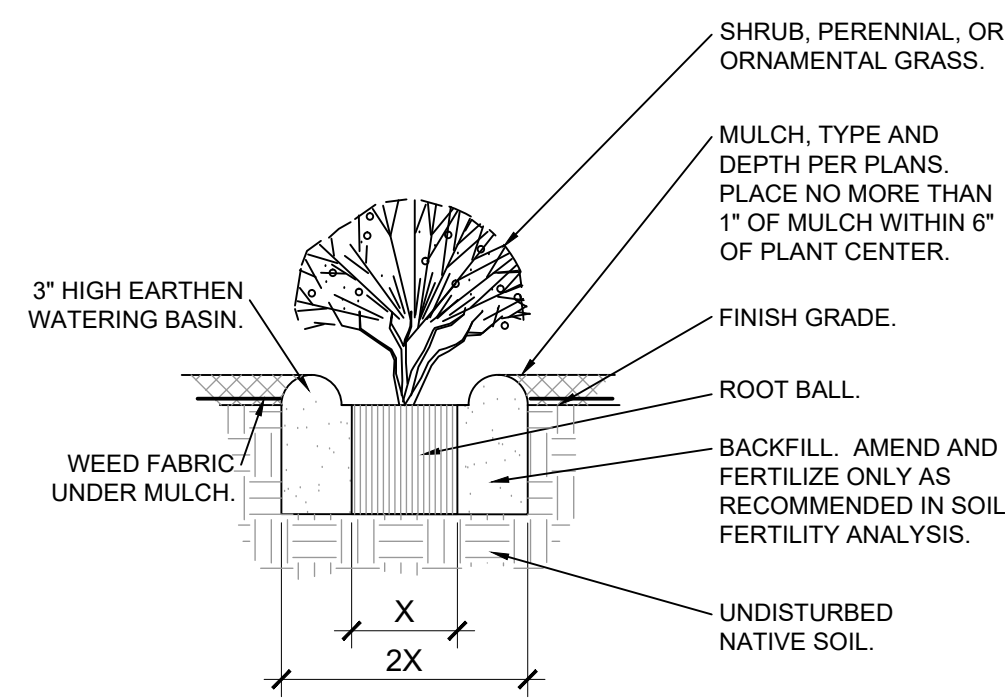
STAKING EXAMPLES (PLAN VIEW)



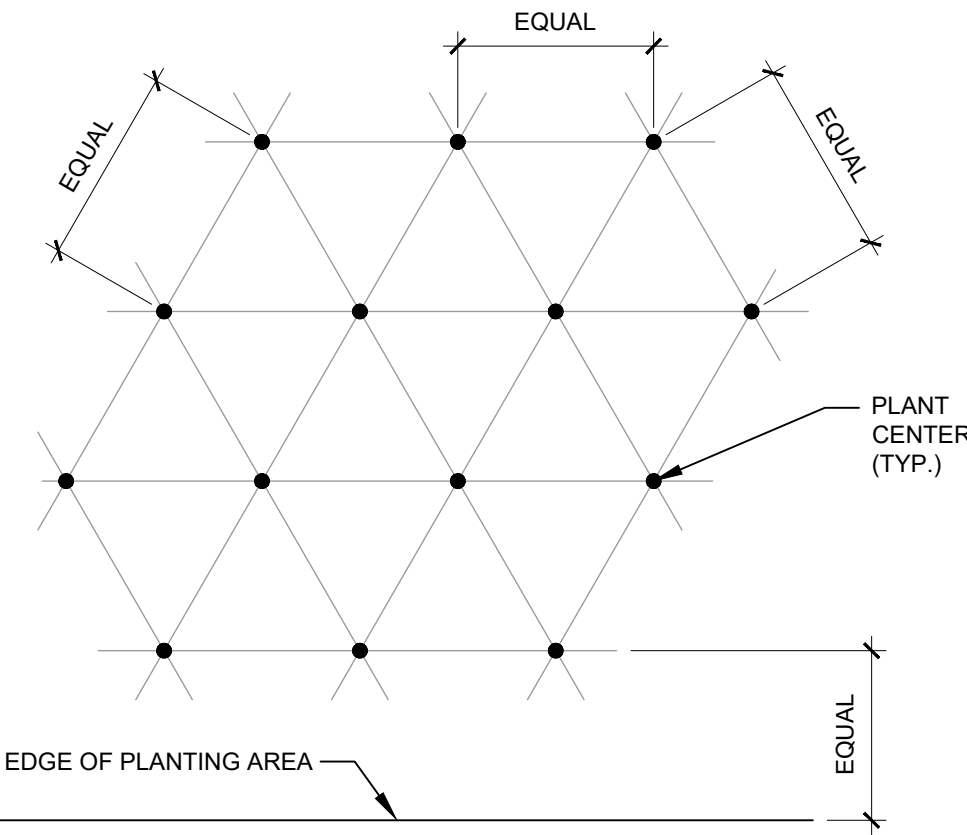
NOTES:

1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.
3. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

A TREE PLANTING
SCALE: NOT TO SCALE



B SHRUB/GROUNDCOVER PLANTING
SCALE: NTS



NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

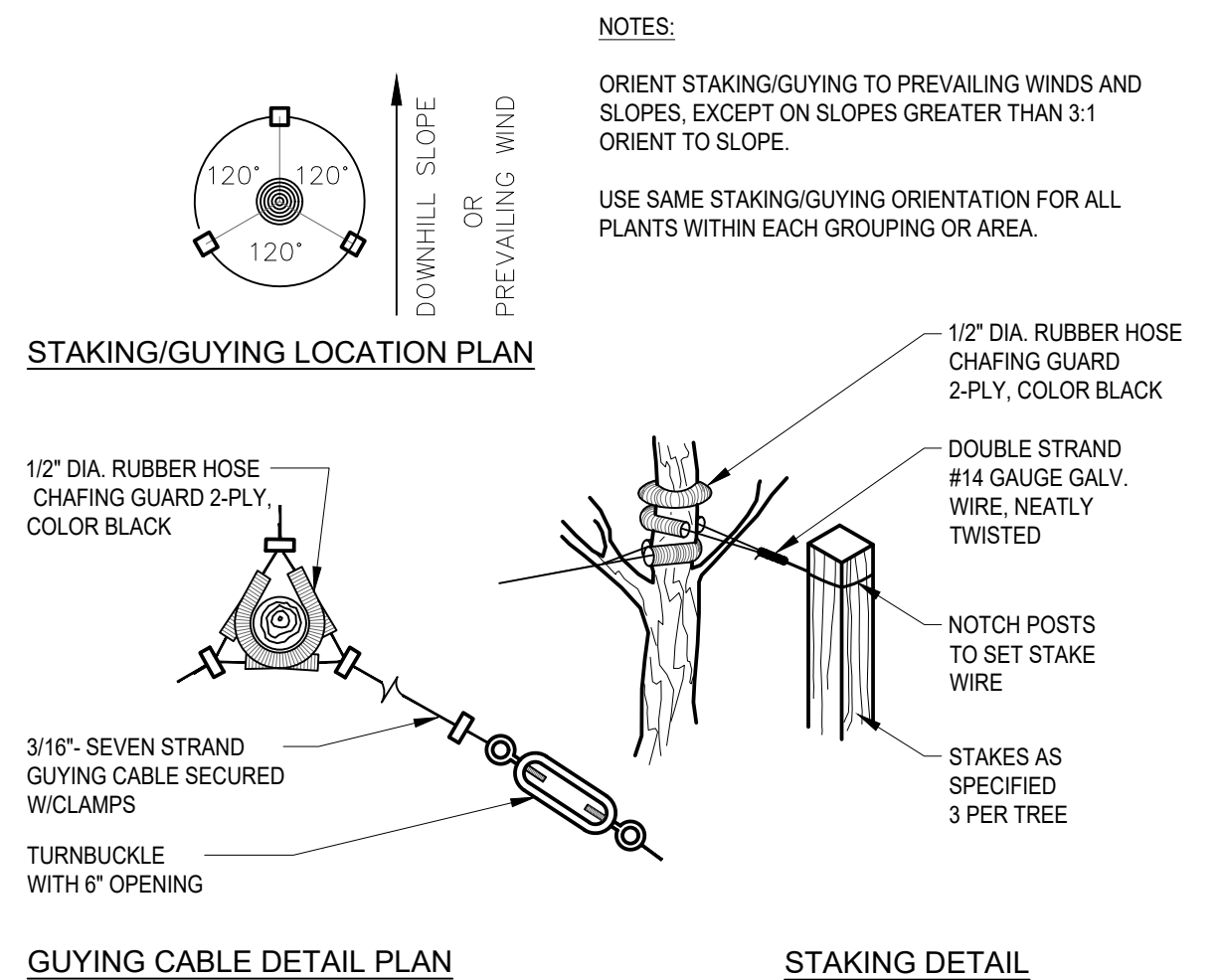
1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:
TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

PLANT SPACING	AREA DIVIDER	PLANT SPACING	AREA DIVIDER
6"	0.22	18"	1.95
8"	0.39	24"	3.46
10"	0.60	30"	5.41
12"	0.87	36"	7.79
15"	1.35		

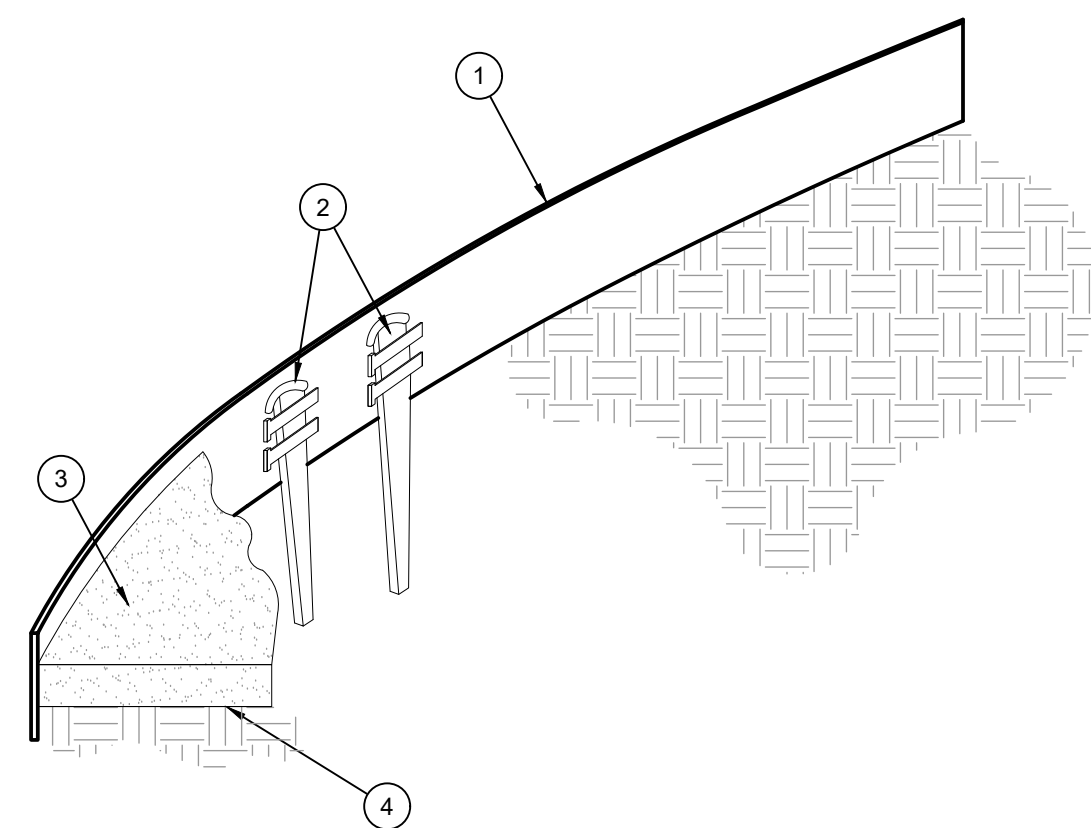
2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

EXAMPLE: PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER
STEP 1: 100 SF / 1.95 = 51 PLANTS
STEP 2: 51 PLANTS - (40 LF / 1.95 = 21 PLANTS) = 30 PLANTS TOTAL

C PLANT SPACING
SCALE: NTS



D TREE STAKING AND GUYING
SCALE: NTS

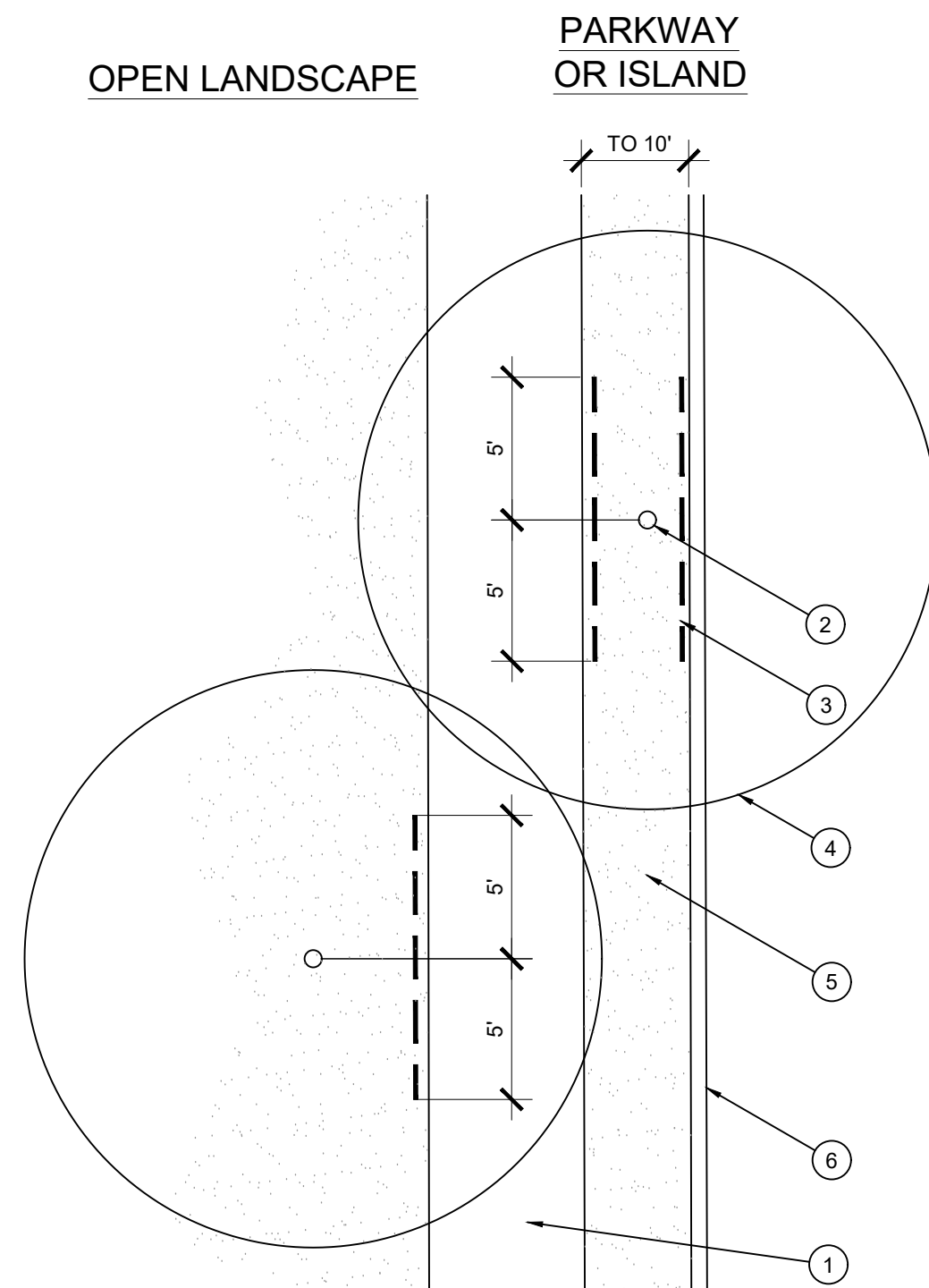


- 1 ROLLED-TOP STEEL EDGING PER PLANS.
- 2 TAPERED STEEL STAKES.
- 3 MULCH, TYPE AND DEPTH PER PLANS.
- 4 FINISH GRADE.

NOTES:

- 1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
- 2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
- 3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

E STEEL EDGING
SCALE: NOT TO SCALE

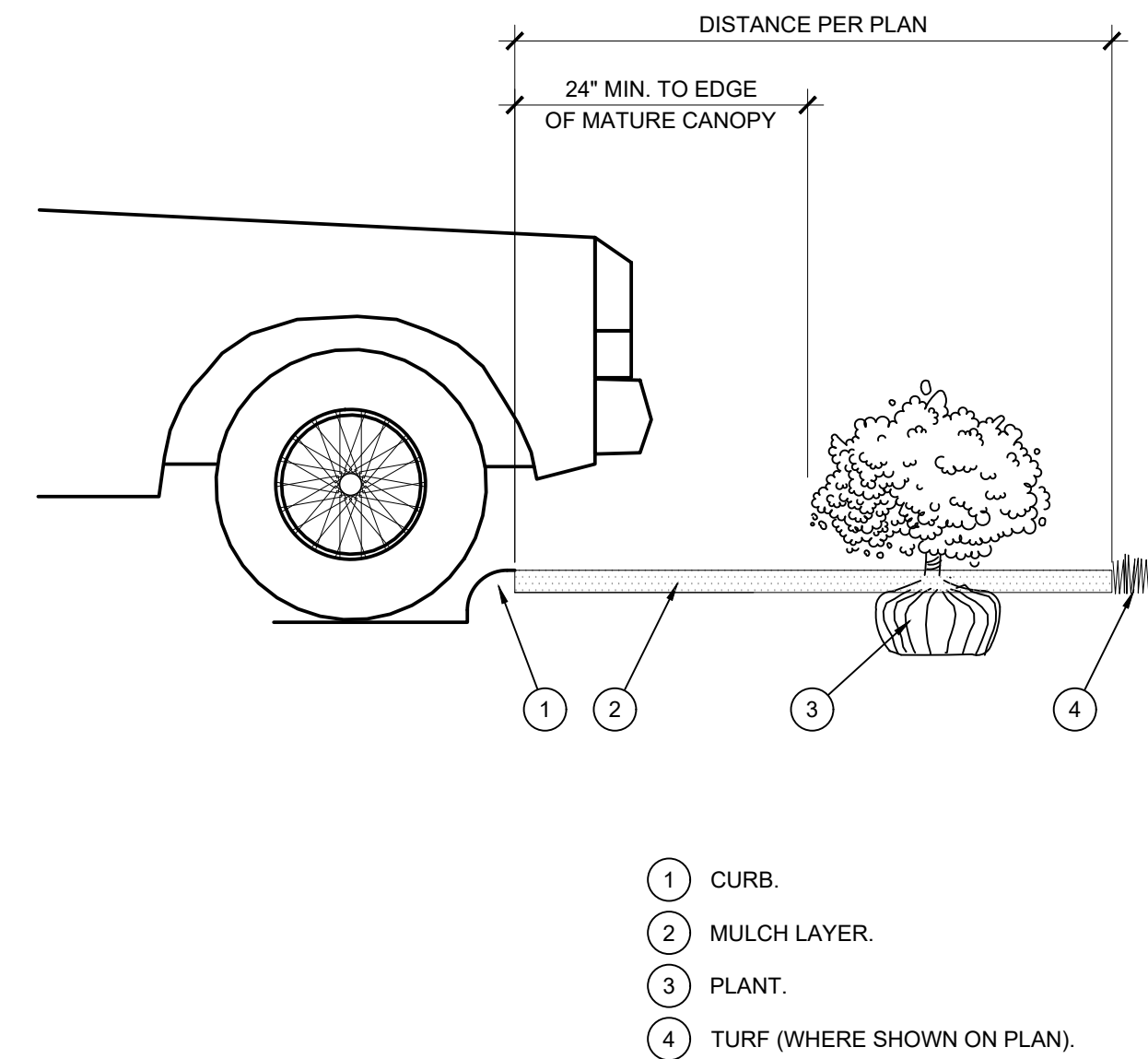


- 1 TYPICAL WALKWAY OR PAVING
- 2 TREE TRUNK
- 3 LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 4 TREE CANOPY
- 5 TYPICAL PLANTING AREA
- 6 TYPICAL CURB AND GUTTER

NOTES:

- 1) INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS.
- 2) BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

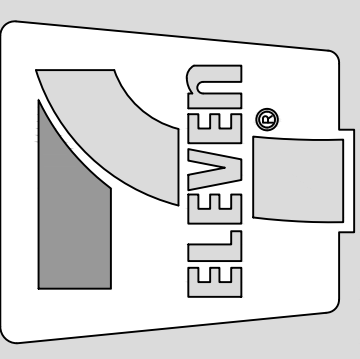
F ROOT BARRIER - PLAN VIEW
SCALE: NOT TO SCALE



- 1 CURB.
- 2 MULCH LAYER.
- 3 PLANT.
- 4 TURF (WHERE SHOWN ON PLAN).

G PLANTING AT PARKING AREA
SCALE: NOT TO SCALE

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3200 HACKBERRY ROAD, IRVING, TEXAS 75063
7-ELEVEN #145441
8352 BEECHMONT AVENUE
CINCINNATI, OH 45255
COVER SHEET

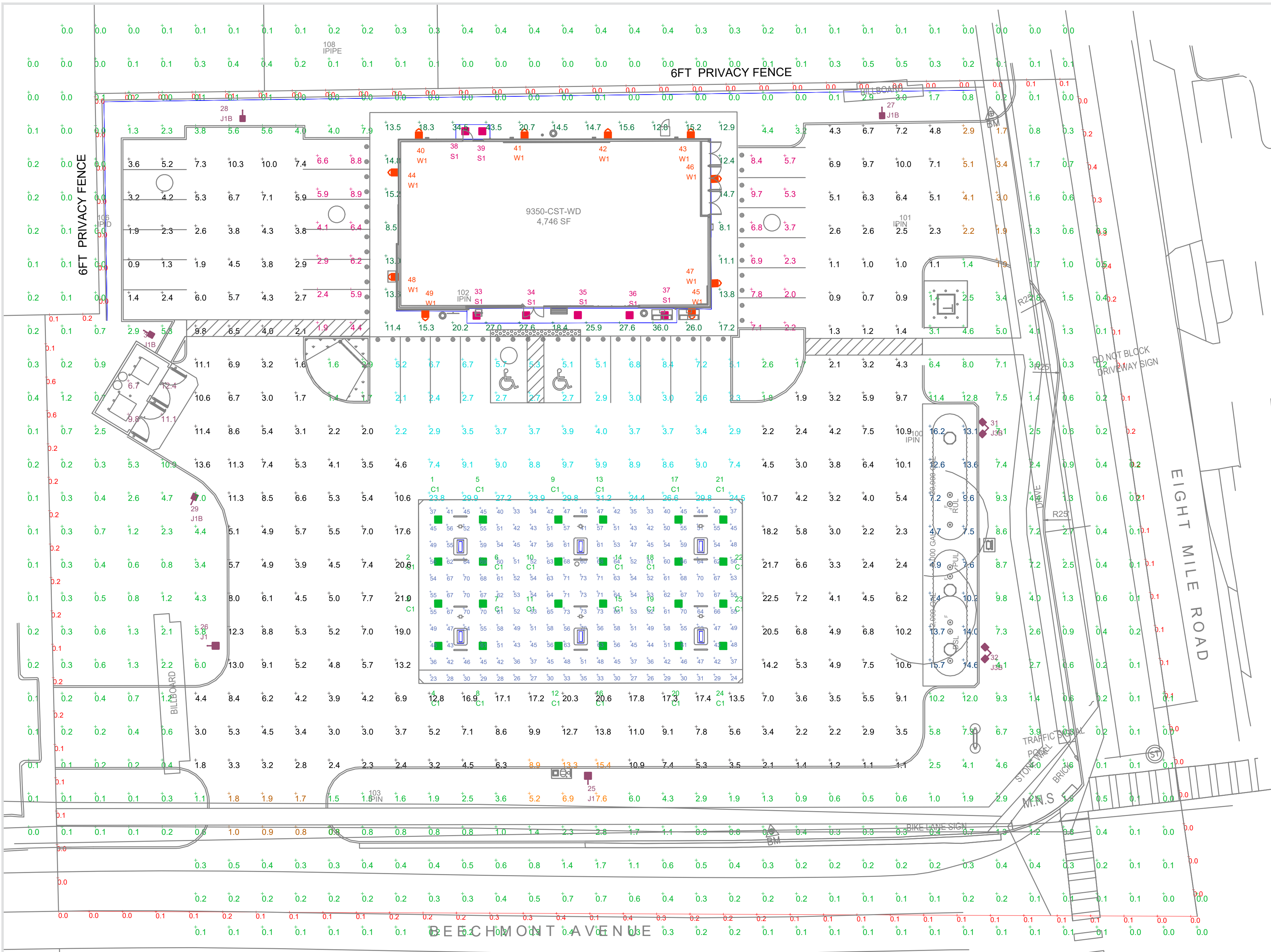


Scale: 1" = 20'-0"
Date: 01/30/2026
Drawn By: JP
Checked By: SS

LANDSCAPE DETAILS
SHEET:
LP-3



02-02-26



NOTES:

- AREA LIGHT POLE MOUNTED FIXTURES ARE MOUNTED ON A 17FT POLE ATOP A 3FT CONCRETE BASE.
- THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS REGULATED BY LOCAL ORDINANCE
- FOOTCANDLES LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES UNLESS NOTED OTHERWISE.

CALCULATION SUMMARY					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
AIR-VAC	9.55	15.4	5.2	1.84	2.96
APPROACH	2.19	5.1	0.8	2.74	6.38
BUILDING SIDEWALK	18.56	43.5	8.1	2.29	5.37
CANOPY TO BUILDING	9.30	31.2	2.1	4.43	14.86
FUEL CANOPY	51.73	73	23	2.25	3.17
PAVED AREA	6.33	22.5	0.7	9.04	32.14
PROPERTY LINE	0.11	0.6	0.0	N.A.	N.A.
SIDE PARKING	5.51	9.7	1.9	2.90	5.11
TANK PAD	10.79	16.2	4.7	2.30	3.45
TRASH PAD	10.00	12.4	6.7	1.49	1.85
UNDEFINED	1.22	12.8	0.0	N.A.	N.A.

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1-24	C1	14
25	J1	20
26	J1	20
27	J1B	20
28	J1B	20
29	J1B	20
30	J1B	20
31	J3B	20
32	J3B	20
33	S1	9.333
34	S1	9.333
35	S1	9.333
36	S1	9.333
37	S1	9.333
38	S1	9.333
39	S1	9.333
40	W1	12
41	W1	12
42	W1	12
43	W1	12
44	W1	12
45	W1	12
46	W1	12
47	W1	12
48	W1	12
49	W1	12

LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	ARR. WATTS	TOTAL WATTS	MANUFACTURE	DESCRIPTION
[Symbol]	4	J1B	Single	16645	1.030	B2-U0-G3	189.54	758.16	Lithonia Lighting	RSX2 LED P4 50K R4 HS
[Symbol]	2	J3B	2 @ 90 degrees	16645	1.030	B2-U0-G3	379.08	758.16	Lithonia Lighting	RSX2 LED P4 50K R4 HS
[Symbol]	24	C1	Single	13178	1.030	B3-U0-G1	84.52	2028.48	Lithonia Lighting	PCNY LED ALO1 50K FPCL MVOLT DWXHD M3
[Symbol]	2	J1	Single	25328	1.030	B3-U0-G4	189.54	379.08	Lithonia Lighting	RSX2 LED P4 50K R4 MVOLT SPA FAO XXXXX
[Symbol]	7	S1	Single	5546	1.030	N.A.	37.48	262.36	Lithonia Lighting	SCNY LED ALO2 SWW2 PFL MVOLT DWXHD M3 (SETTING 2, CCT: 5000K) + PCNYDT XXXXX J12
[Symbol]	10	W1	Single	6200	1.030	B1-U0-G1	46.93	469.3	Lithonia Lighting	WPX2 LED 50K MVOLT XXXXX

REV.	BY	DATE	DESCRIPTION
R1	JRB	01/12/26	ADD PRIVACY FENCE AND MEET .75FC SPILL
R2	JRB	01/14/26	REVISED OPTIC OF TOP TWO SINGLE FIXTURES TO PREVENT SPILL

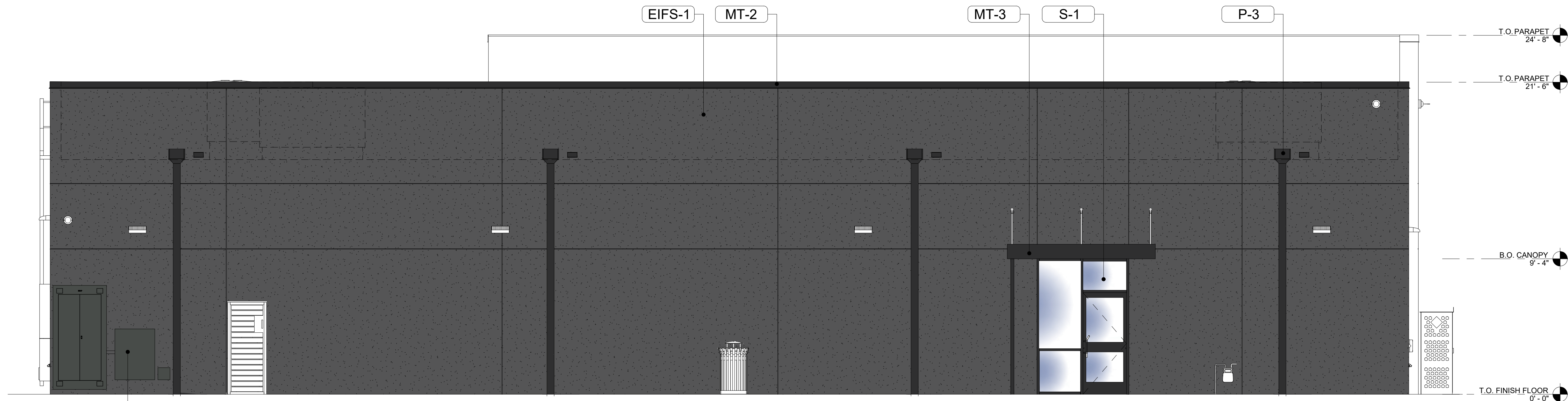
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SCALE: 1" = 20'
 LAYOUT BY: JRB
 DWG SIZE: D
 DATE: 12/22/25

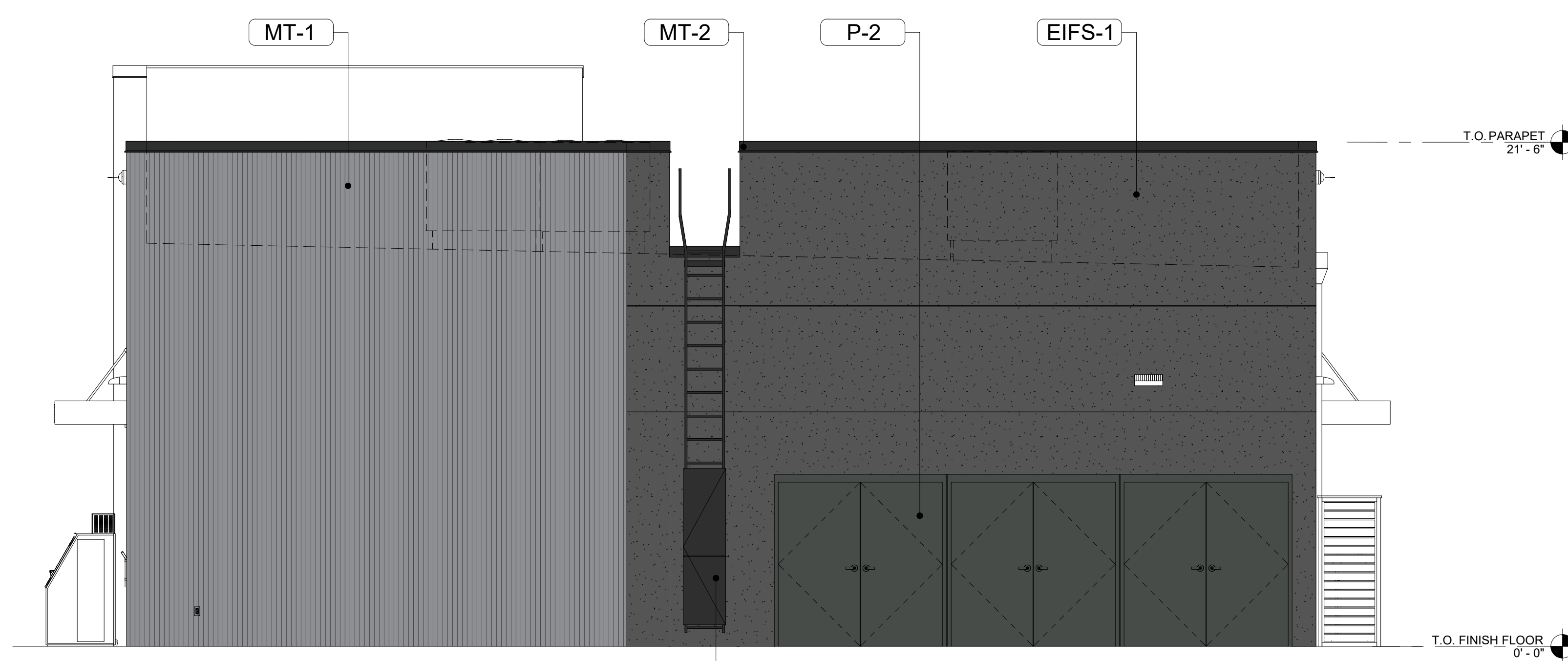
PROJECT NAME:
SPEEDWAY # 45441
CINCINNATI, OH
 DRAWING NUMBER:
RL-10913-S1-R2



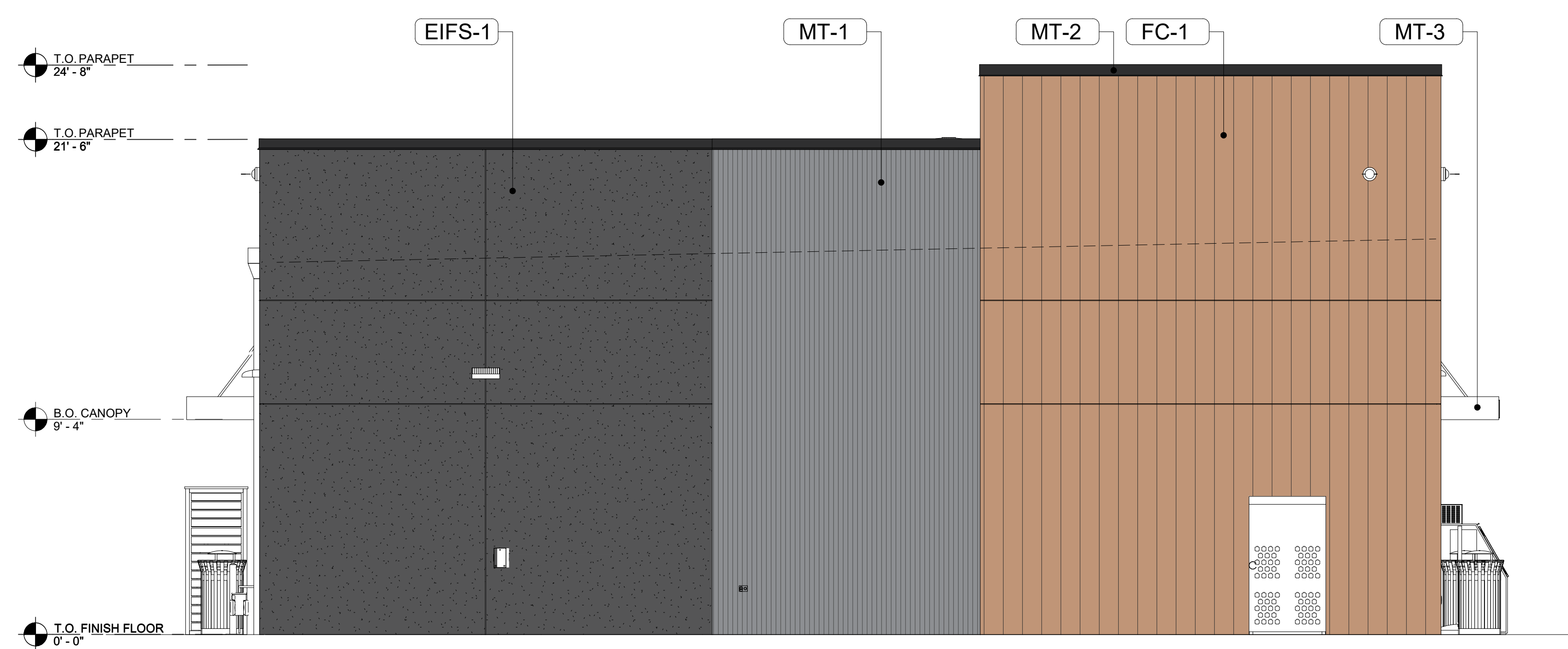
EXTERIOR FINISH SCHEDULE		
NOTE: SEALANT COLORS: MATCH COLOR OF ADJACENT MATERIAL BEING SEALED - WHEN 2 OR MORE COLORS ARE ADJACENT, MATCH LIGHTER-COLORED MATERIAL.		
FINISH	MATERIAL	PATTERN
EIFS-1	DRYVIT EIFS - "152 ANTHRACITE COAL"	
FC-1	FIBER CEMENT PANEL NICHIBA VINTAGE WOOD - "SPRUCE"	
MT-1	EXPOSED FASTENER CORRUGATED METAL PANEL - "SILVER"	
MT-2	PRE-FINISHED METAL COPING & COMPRESSION EDGE - "COAL BLACK"	
MT-3	MAPES PRE-FINISHED ALUMINUM CANOPY - "MATTE BLACK"	
S-1	KAWNEER ALUMINUM STOREFRONT FRAMING - "#29 BLACK"	
P-1	PAINT - SW 7005 - "PURE WHITE"	
P-2	PAINT - SW 7062 - "ROCK BOTTOM"	
P-3	PAINT - SW 6258 - "TRICORN BLACK"	
CMU-1	8" INTEGRALLY COLORED CMU - WESTBROOK CONCRETE BLOCK COLOR: PFT-608	
ACM	ALUMINUM COMPOSITE MATERIAL - TBD	



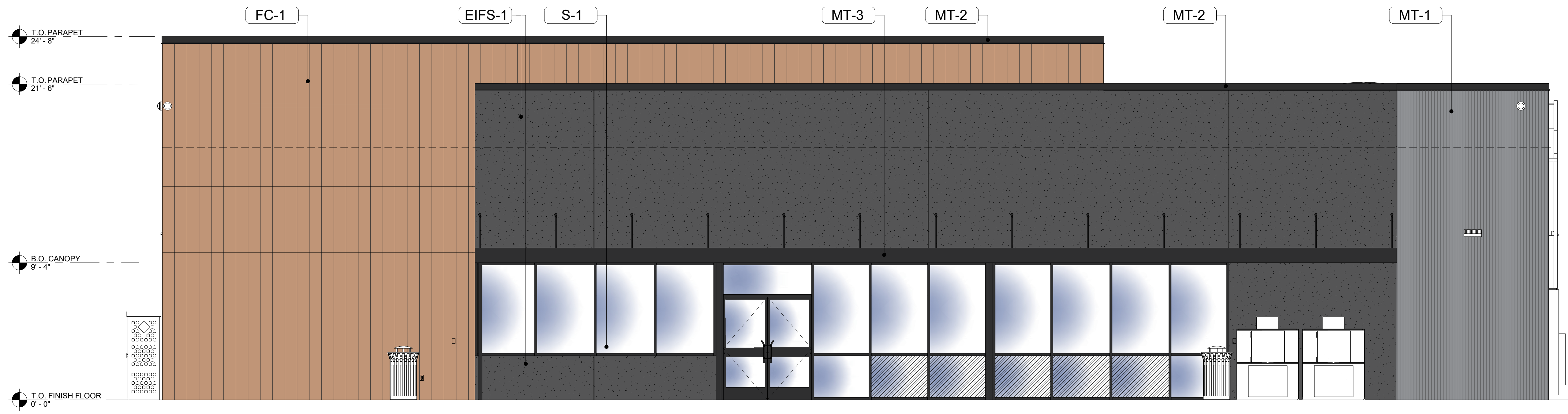
4 ELEVATION - REAR
1/4" = 1'-0"



3 ELEVATION - RIGHT
1/4" = 1'-0"



2 ELEVATION - LEFT
1/4" = 1'-0"

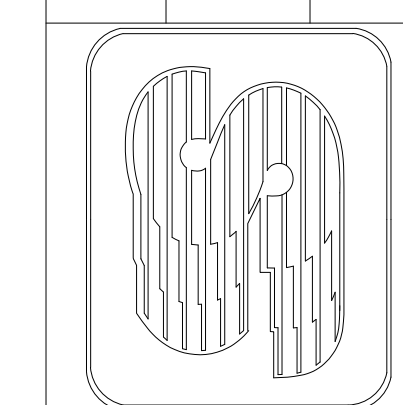


1 ELEVATION - FRONT
1/4" = 1'-0"

Rev. #	Date	Description

PROTO: 93X50 WOOD

7-ELEVEN, INC.
3200 HACKBERRY RD., IRVING, TEXAS 75063
SPEEDWAY #1055707
8352 BEECHMONT AVE.
CINCINNATI, OH 45255



Job#: 240-451
Scale: AS NOTED
Date: 11/25/25
Drawn By:
Checked By:

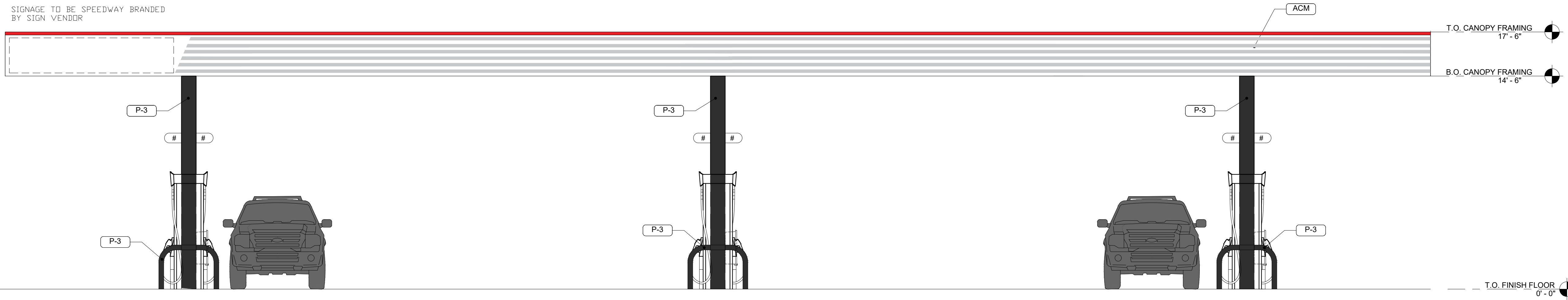
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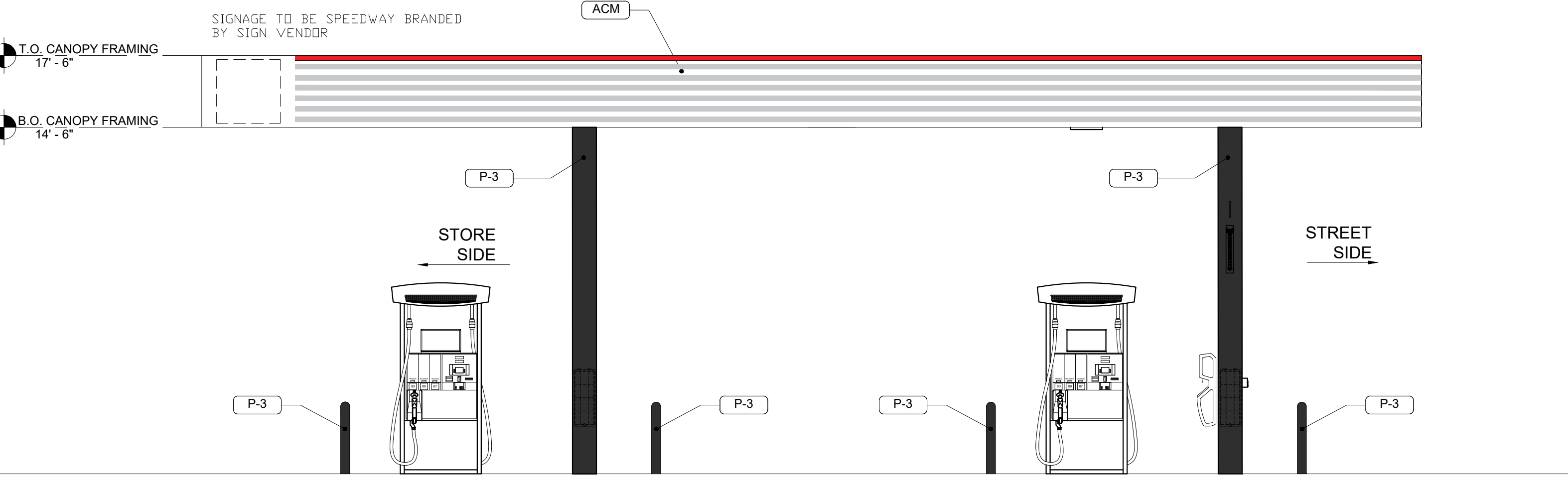
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93x50- WOOD

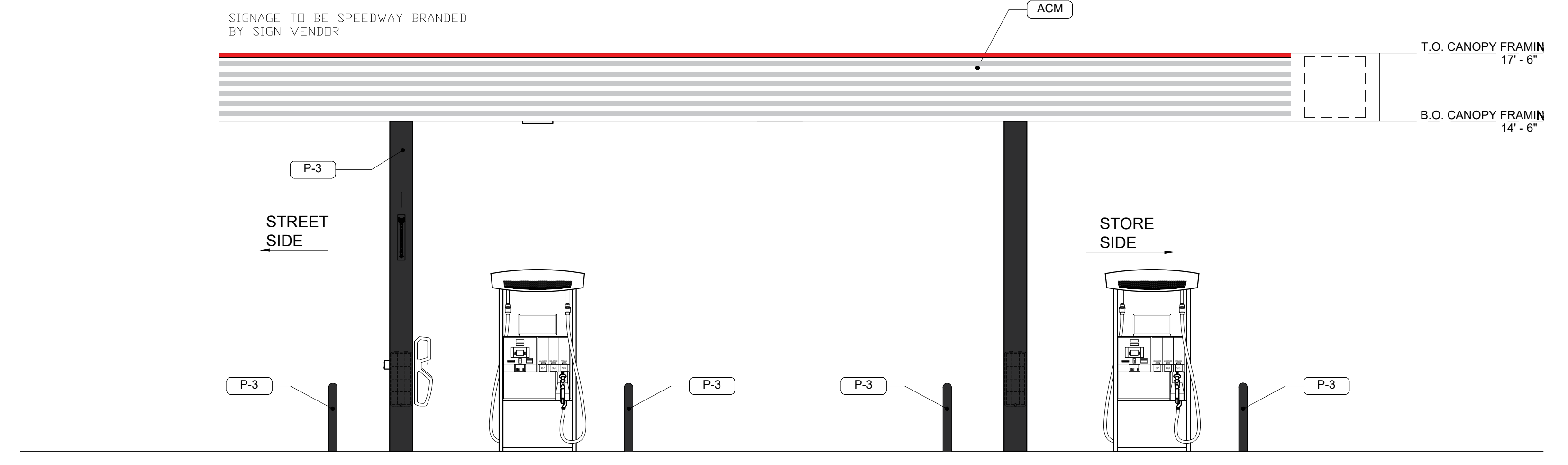
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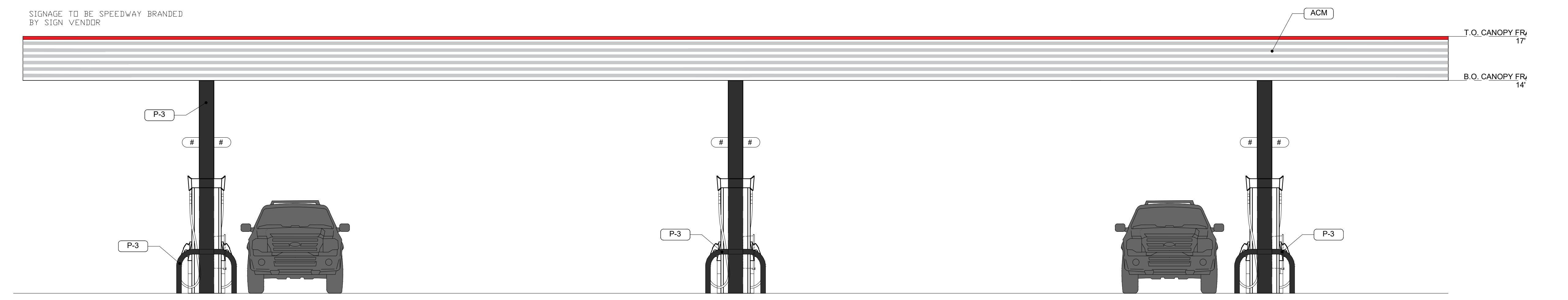
7 ELEVATION - FUEL CANOPY - STREET SIDE
1/4" = 1'-0"



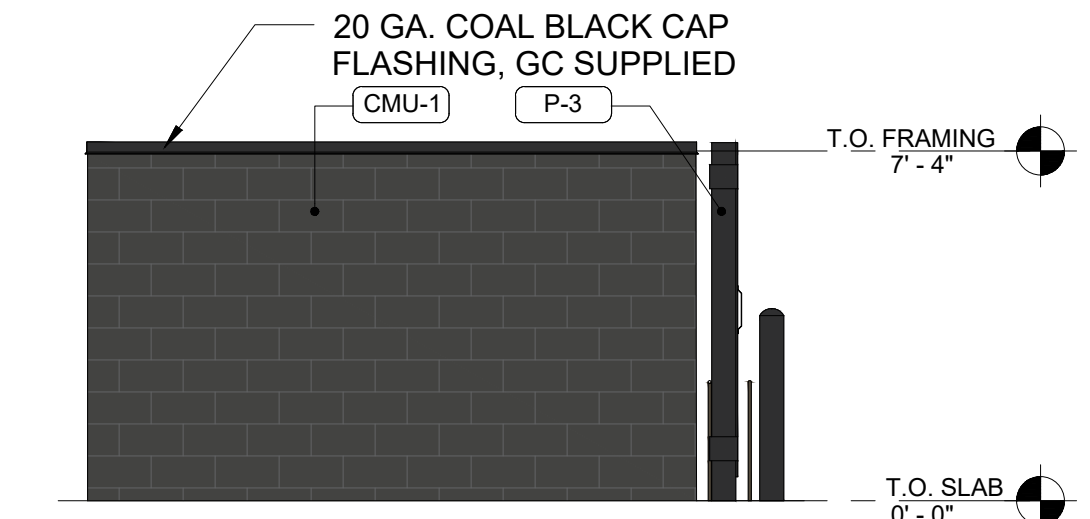
6 ELEVATION - FUEL CANOPY SIDE
1/4" = 1'-0"



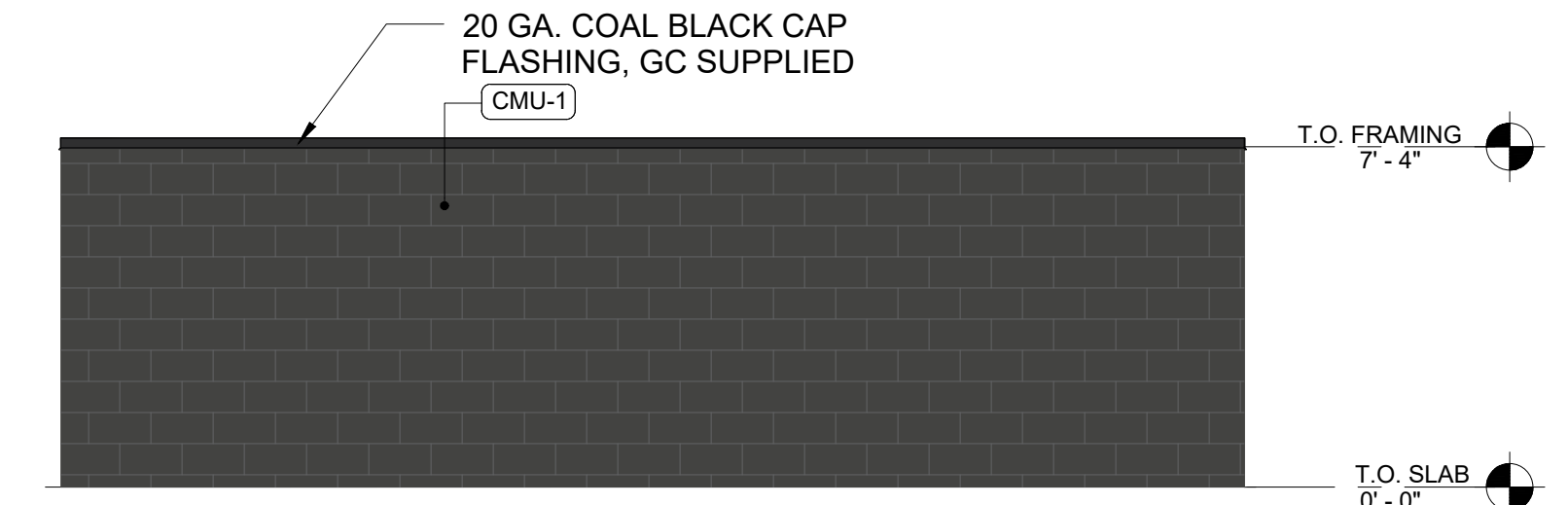
5 ELEVATION - FUEL CANOPY SIDE
1/4" = 1'-0"



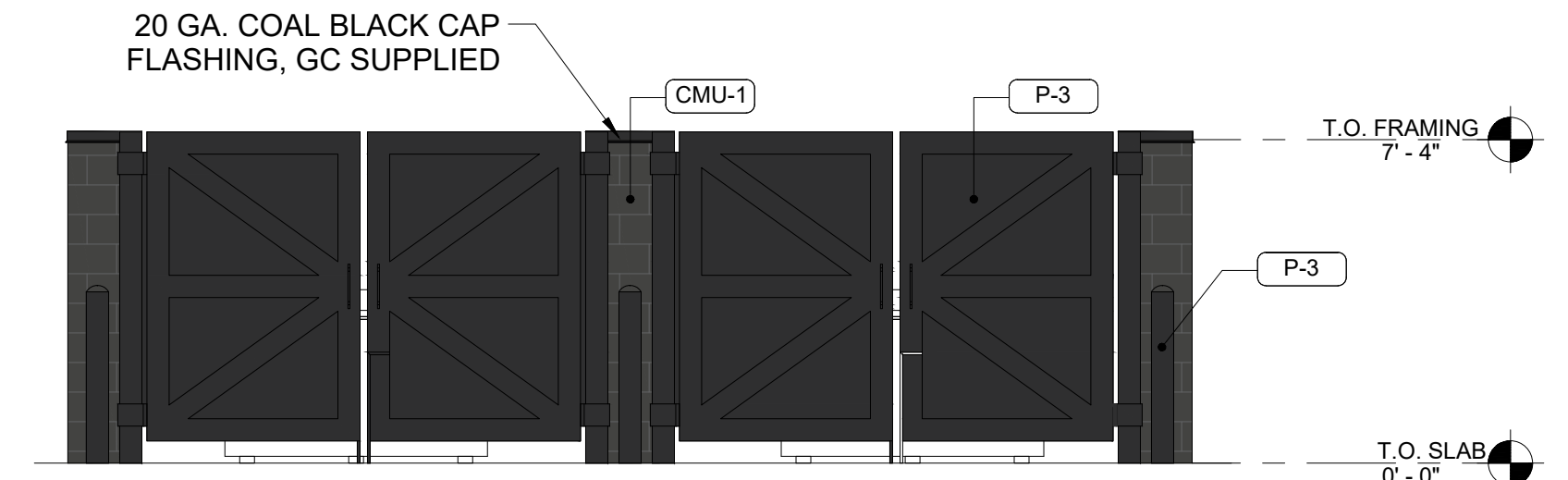
4 ELEVATION - FUEL CANOPY - STORE SIDE
1/4" = 1'-0"



1 SIDE DUMPSTER ENCL. ELEVATION
3/16" = 1'-0"



2 BACK DUMPSTER ENCL. ELEVATION
3/16" = 1'-0"



3 FRONT DUMPSTER ENCL. ELEVATION
3/16" = 1'-0"

7-ELEVEN, INC.
3200 HACKBERRY RD., IRVING, TEXAS 75063
SPEEDWAY #1055707
8352 BEECHMONT AVE.
CINCINNATI, OH 45255

EXTERIOR ELEVATIONS

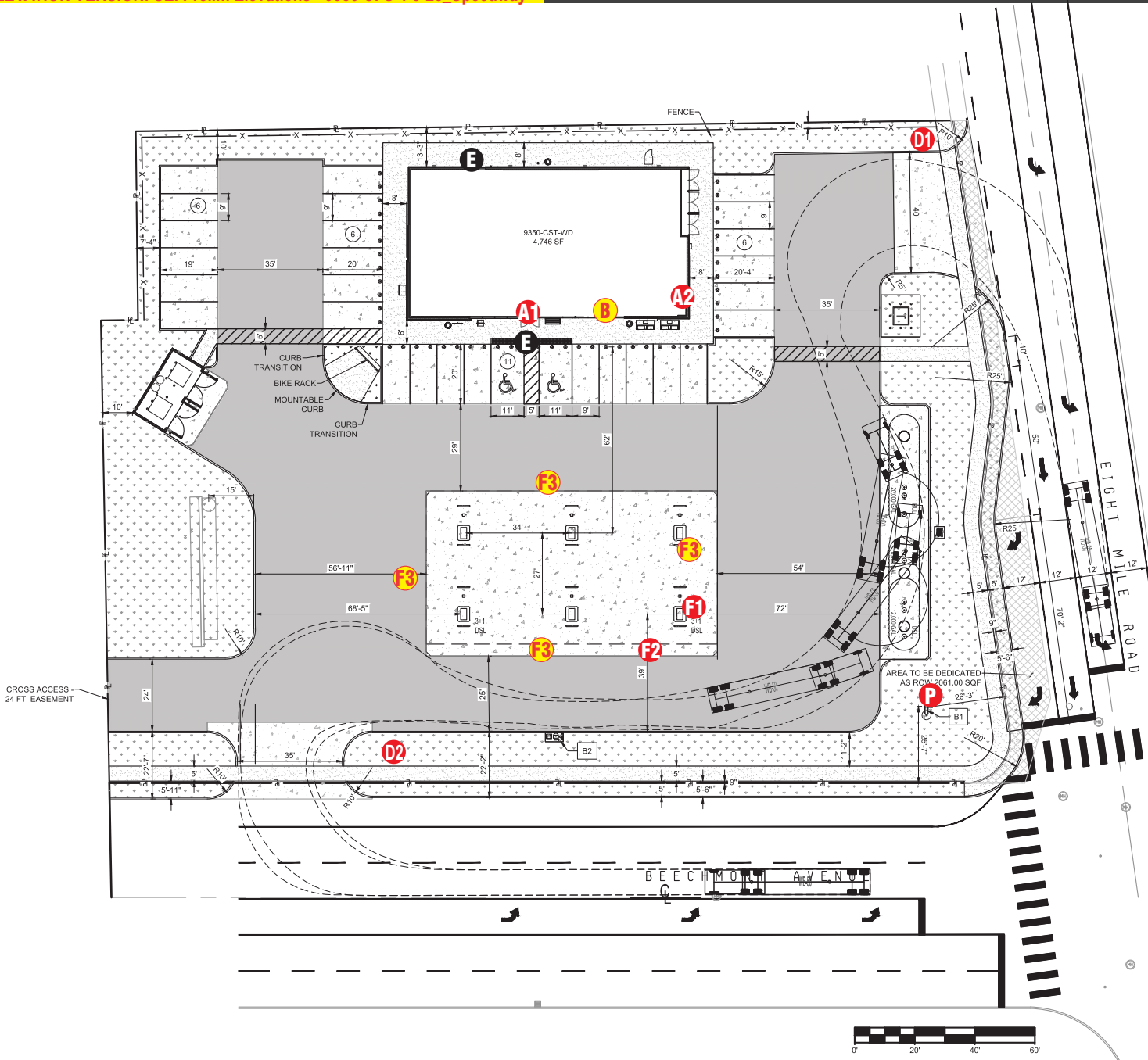
PROTO: 93X50 WOOD

Job#: 240-451
Scale: AS NOTED
Date: 11/25/25
Drawn By:
Checked By:

12/2/25

SHEET:
93x50- WOOD

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PRODUCT LIST		
SQ. FT.	QTY	ITEM
EXTERIOR BUILDING SIGNS		
A1	62.7	1 5"5" BADGE & SPEEDWAY LETTER SIGN SET
A2	61	1 7"5" BADGE WALL SIGN
INTERIOR WINDOW SIGNS BY OTHERS		
B	N/A	1 HANGING ATM WINDOW SIGN (BY OTHERS)
VINYLS ONLY		
E	N/A	2 WELCOME VINYLs
EXTERIOR GROUND SIGNS		
P	97.8	1 DF PYLON SIGN
D1	6	1 DF DIRECTIONAL SIGN
D2	6	1 DF DIRECTIONAL SIGN
FUEL CANOPY FASCIA SIGNS		
F1	6.13	1 LOGO BADGE SIGN
F2	24.55	1 SPEEDWAY CHANNEL LETTER SET
FUEL CANOPY FASCIA ITEMS BY OTHERS		
F3	N/A	4 RED/GREY STRIPES & DOWN LIGHTING (BY OTHERS)

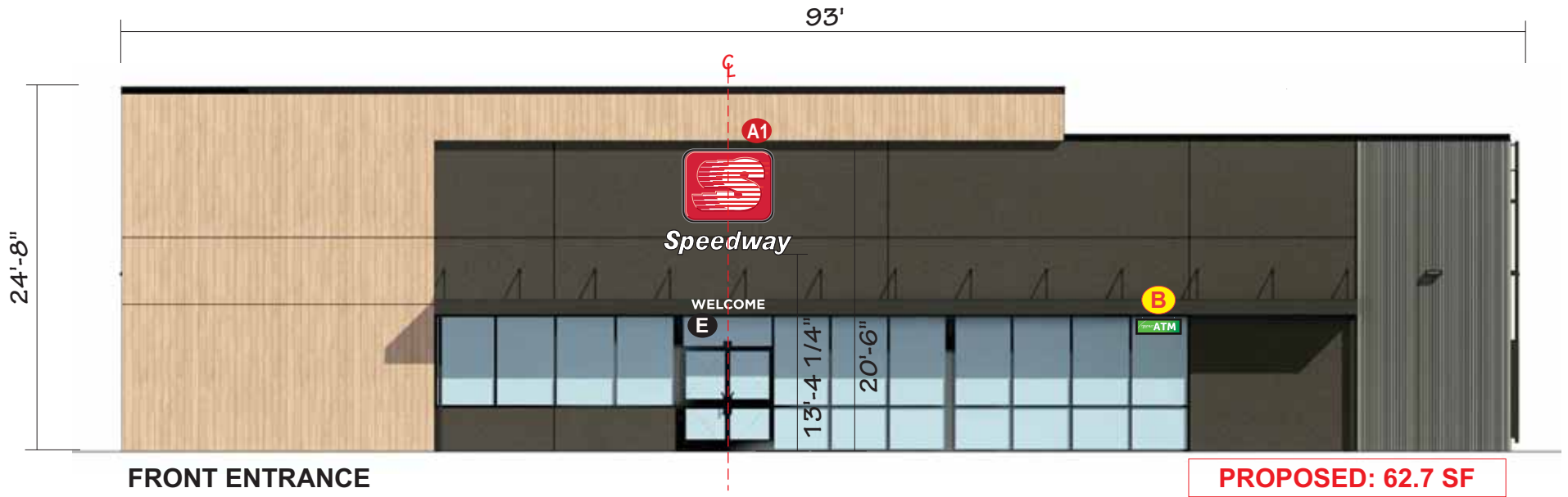


Job Location: Site # 45441
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 Cincinnati OH 45255
Date: December 03, 2025

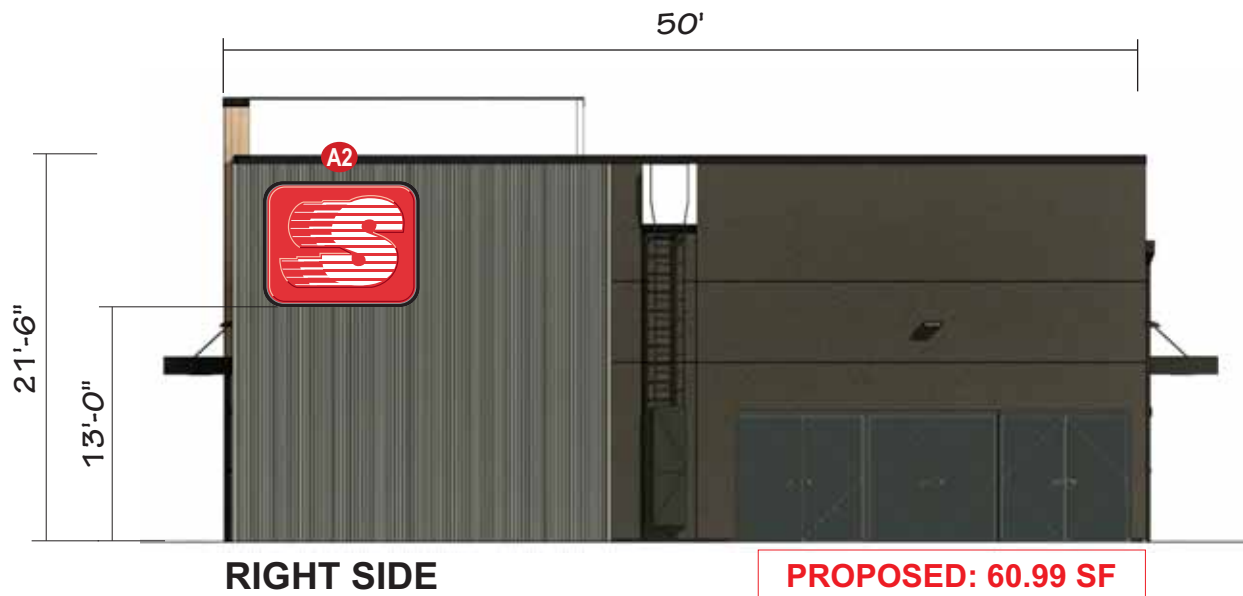


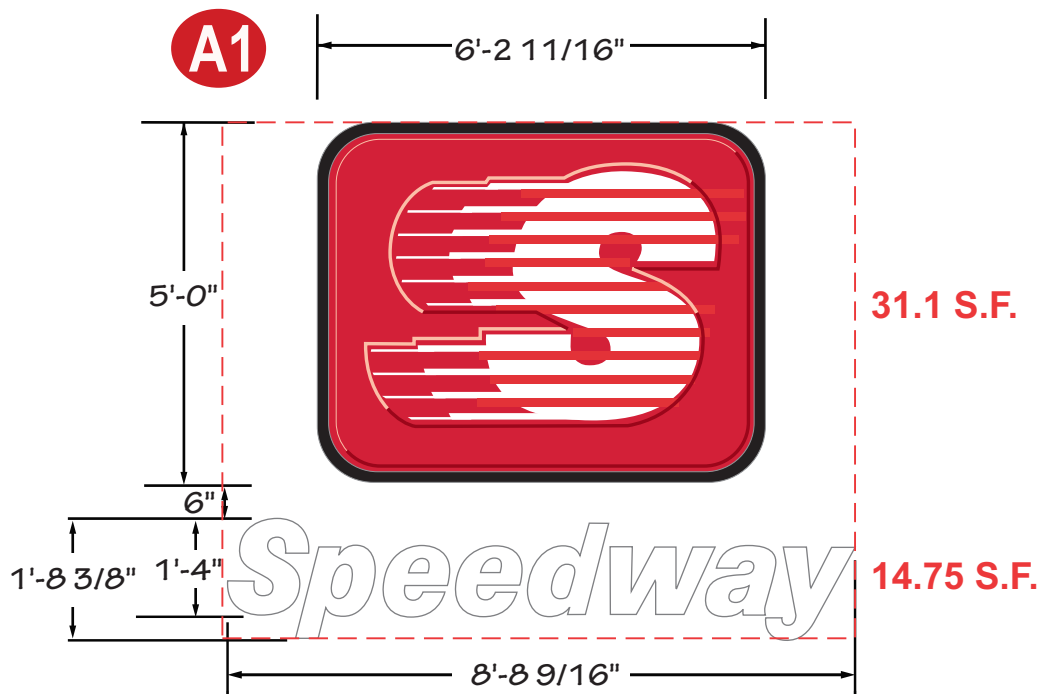
D-ORDER# 1675382085.01
Project Mgr.: Taryn Schultz
 taryn.schultz@cummingsigns.com
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Building Code: Max sign area is 20% of façade area or 250 sf total surface area per structure whichever is less.



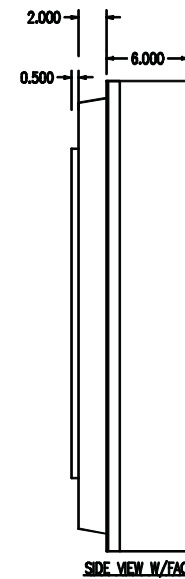
Building Code: Max sign area is 20% of façade area or 250 sf total surface area per structure whichever is less.





Speedway Sign Set

SIGN SET BOXED: 62.7 SF BOXED



"S" SIGN BADGE

CABINET: 6" DEPTH, SF, FABRICATED ALUMINUM. CABINET & RETAINERS PAINTED TRICORN BLACK SW 6258

FACE: PAN-FORMED & EMBOSSED' CLEAR POLYCARBONATE W/2ND SURFACE VINYL, HAND CUT & BACK SPRAYED WHITE.

ILLUMINATION: WHITE LEDs

"SPEEDWAY" CHANNEL LETTERS

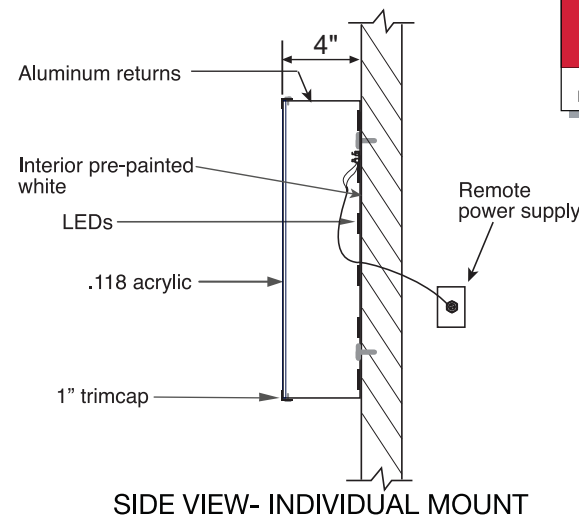
FACES: WHITE ACRYLIC

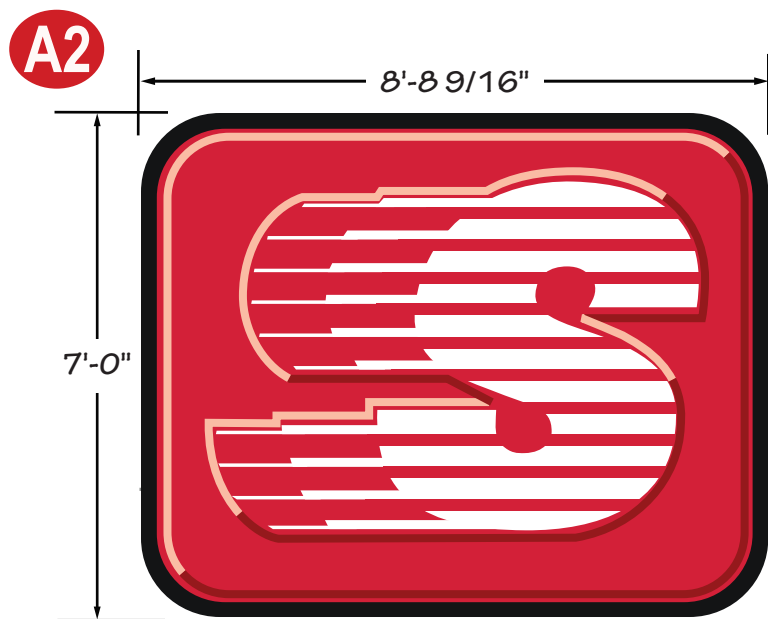
TRIM CAP: BLACK

RETURNS: 4" DEEP ALUMINUM, BLACK.

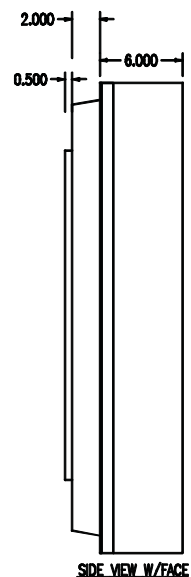
ILLUMINATION: WHITE LEDs

COLORS:





61 S.F.



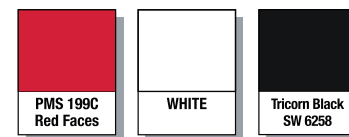
"S" SIGN BADGE

CABINET: 6" DEPTH, SF, FABRICATED ALUMINUM. CABINET & RETAINERS PAINTED TRICORN BLACK SW 6258

FACE: PAN-FORMED & EMBOSSED' CLEAR POLYCARBONATE W/2ND SURFACE VINYL, HAND CUT & BACK SPRAYED WHITE.

ILLUMINATION: WHITE LEDs

COLORS:



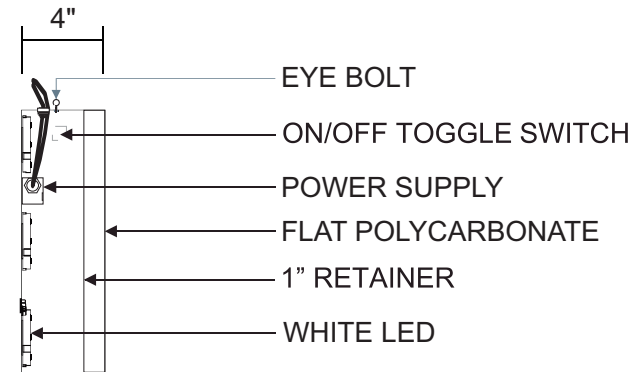
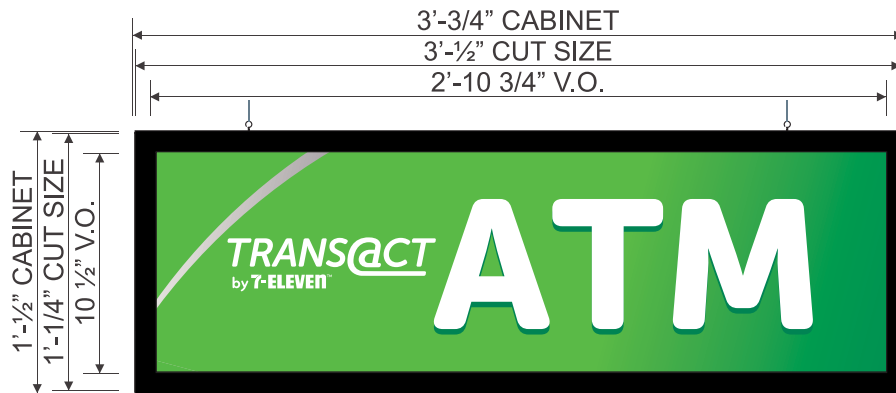
B

SPECIFICATIONS
SF INTERNALLY ILLUMINATED HANGING
SIGN (INTERIOR)

CABINET:
EXTRUDED ALUMINUM PAINTED DURANODIC
BRONZE 313E

FACE:
3/16" THICK FLAT WHITE POLYCARBONATE
WITH 1ST SURFACE DIGITAL PRINT IMAGE.

ILLUMINATION:
GE WHITE LED



**SHOWN FOR PERMITTING PURPOSES
ONLY. SIGN PROVIDED BY FCTI.**

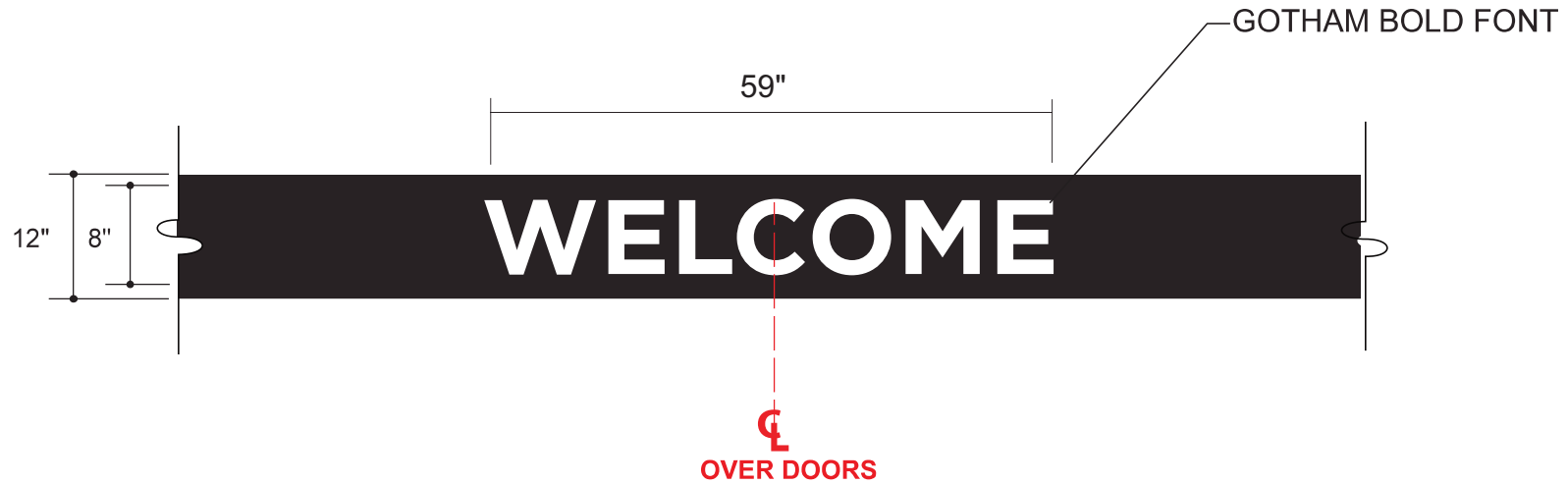
Display Square Footage (Cabinet): 3.2

Job Location: Site # 45441
8452 Beechmont Ave.
Cincinnati OH 45255
Date: December 03, 2025



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taryn.schultz@cummingsigns.com
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E



OPAQUE WHITE WELCOME VINYL LETTERS FOR FIRST SURFACE IN FIELD APPLICATION TO NEW BLDG. CANOPY FACE.

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Date: December 03, 2025

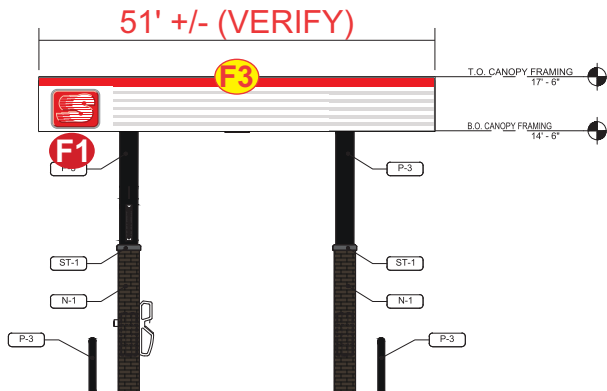


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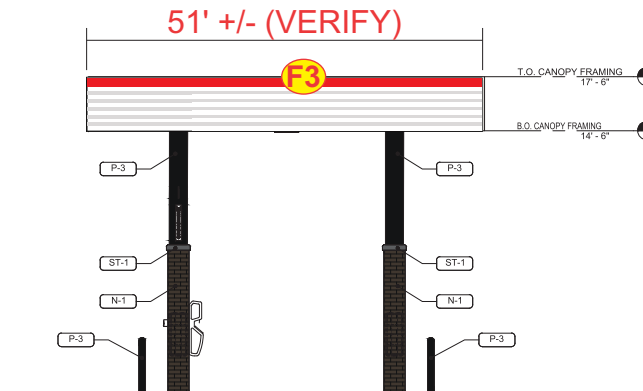
CONCEPT ELEVATIONS ONLY

FUEL CANOPY FASCIA SIGNS ONLY BY CUMMINGS

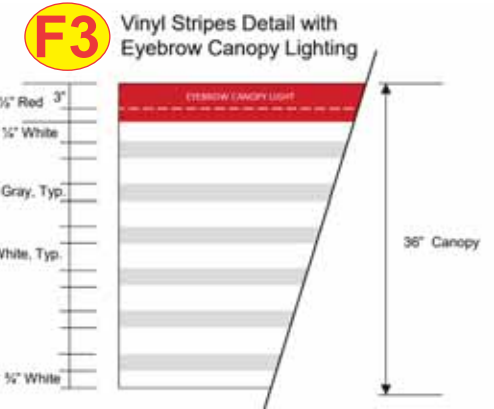
Fuel Canopy Code: Wording Allowed on Fuel Canopy, Logos allowed. Fuel Canopy signage is included in building signage calculations



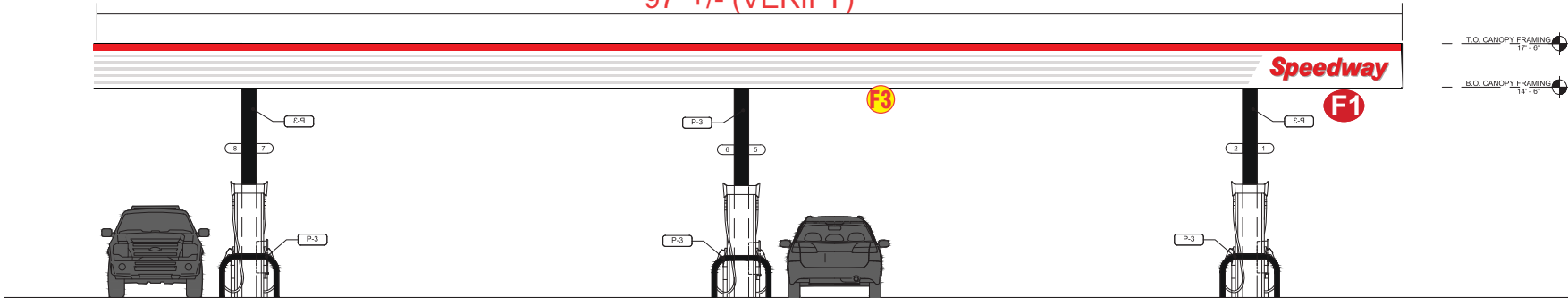
**RIGHT SIDE -BADGE SIGN BY CUMMINGS.
RED & GRAY VINYL STRIPES & EYEBROW LIGHTING BY OTHERS**



**LEFT SIDE -RED & GRAY VINYL STRIPE
& EYEBROW LIGHTING BY OTHERS**

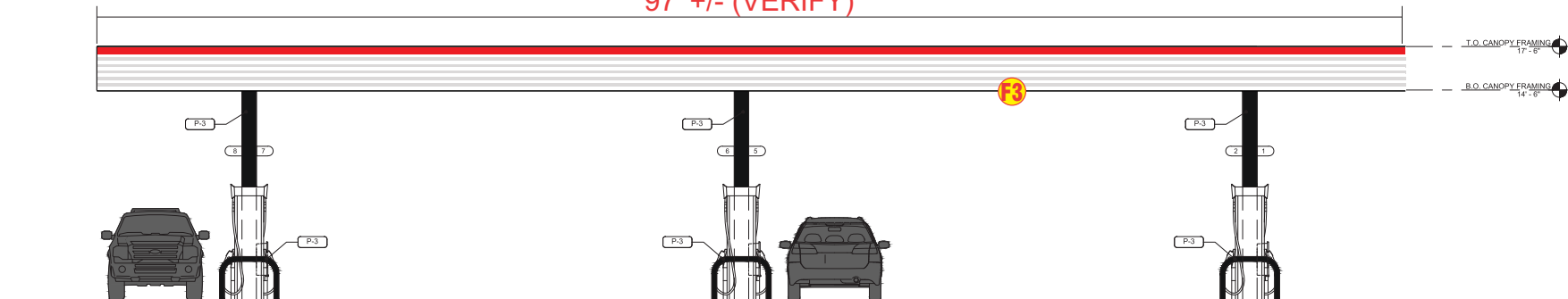


97' +/- (VERIFY)



FRONT (FACING STREET) -CHANNEL LETTER SET BY CUMMINGS. RED & GRAY VINYL STRIPES & EYEBROW LIGHTING BY OTHERS

97' +/- (VERIFY)



REAR (FACING STORE) -RED & GRAY VINYL STRIPES & EYEBROW LIGHTING BY OTHERS

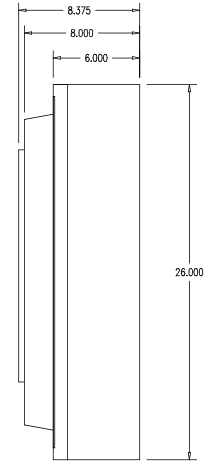
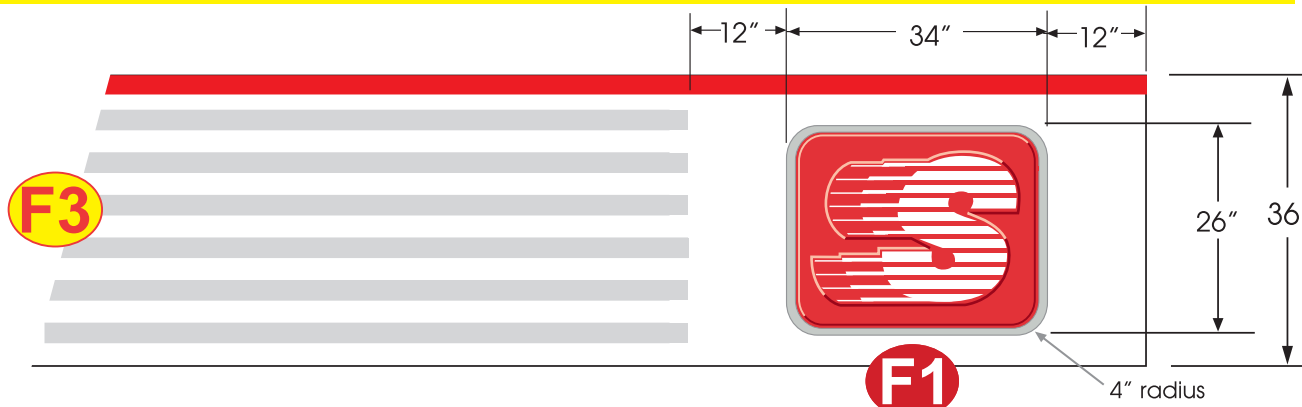
Job Location: Site # 45441
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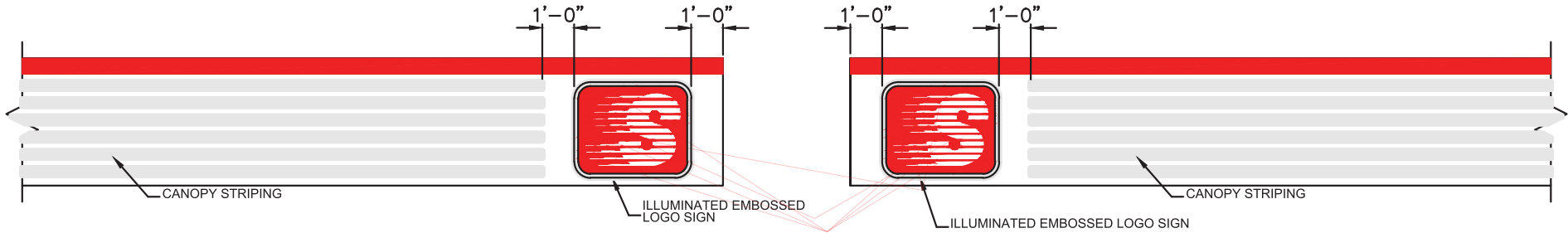
SPEEDWAY CANOPY BADGE SIGN

CANOPY STRIPING LAYOUT NEEDS TO BE PROVIDED BY THE CONSTRUCTION MANAGER NOT WHAT'S SHOWN IN THE BRAND BOOK



SIDE VIEW W/FACE

6.13 SQ. FT. - SF LED ILLUM'D CANOPY LOGO SIGN: 2'-2"x 2'-10", PAN EMBOSSED



GENERAL SPECIFICATIONS:

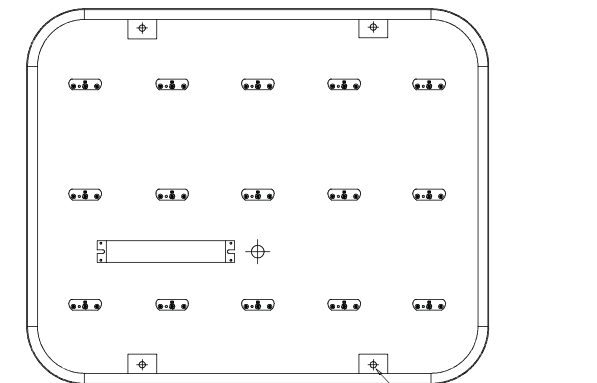
- Depth: 6" cabinet; 8.5" overall depth
- Face: .177 pan embossed
- Area Squared: 6.13 Sq. Ft.
- Weight: 60 lbs. (crated)
- Wind Load: 35 psf/90 mph
- Service: Remove face to service LEDs & power supply

ELECTRICAL

- Illumination: (15) White LEDs
- Line Load:
 - 0.61 AMPS @ 120 VAC 60 Hz
 - (1) 15 AMP circuit, 60 Hz, UL 48 & NEC compliant

COLOR:

Cabinet and retainer ptd. PMS 428C Gray returns



FRONT ELEVATION W/O FACE

7/16" MOUNTING HOLES FOR 3/8" BOLTS

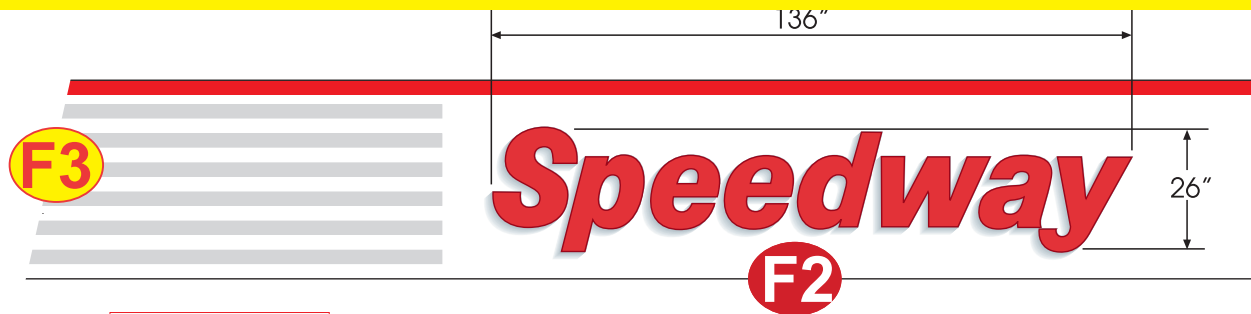
Job Location: Site # 45441
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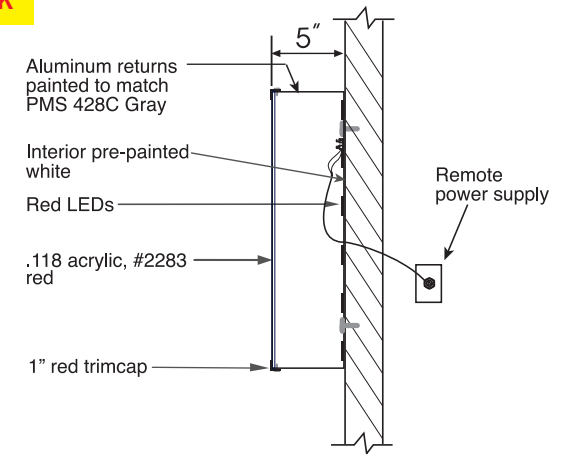


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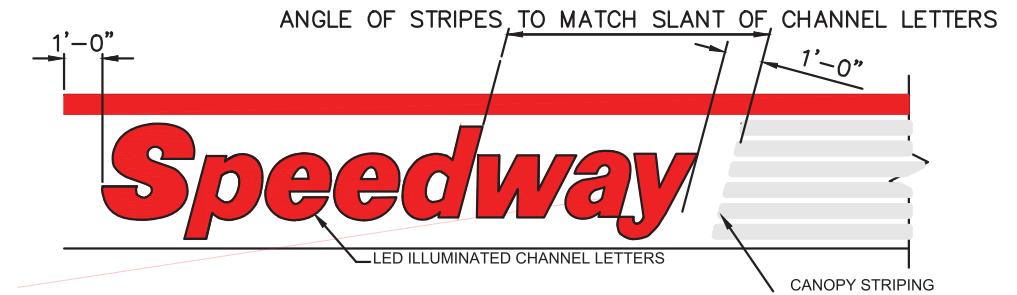
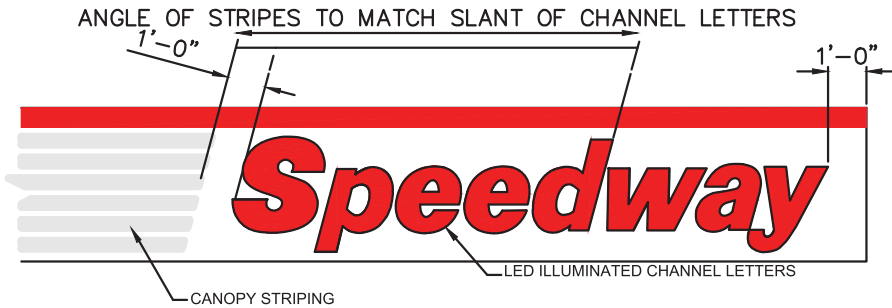
CANOPY STRIPING LAYOUT NEEDS TO BE PROVIDED BY THE CONSTRUCTION MANAGER NOT WHAT'S SHOWN IN THE BRAND BOOK



24.55 SQ. FT. - 26" LED ILLUMINATED CHANNEL LETTERS FOR CANOPY MOUNT



SIDE VIEW- INDIVIDUAL MOUNT



GENERAL SPECIFICATIONS:

- Depth: 5" returns
- Trimcap: 1" red
- Face: .118 flat red acrylic, #2283
- Area Squared: 24.55 Sq. Ft.
- Weight: (tbd) (crated)
- Wind Load: 35 psf/90 mph

ELECTRICAL

- Illumination: (92) Red LEDs
- Power Supply: (1) LED 60 WATT; 12VOLT
- Line Load:
 - 0.80 AMPS each (input)
 - Total (0.80 AMPS) @ 100-277 VAC
 - (1) 20 AMP circuit

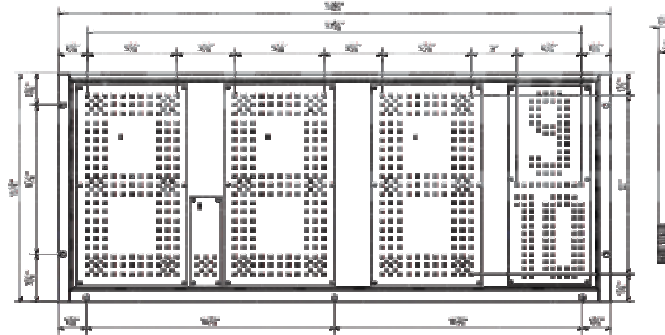
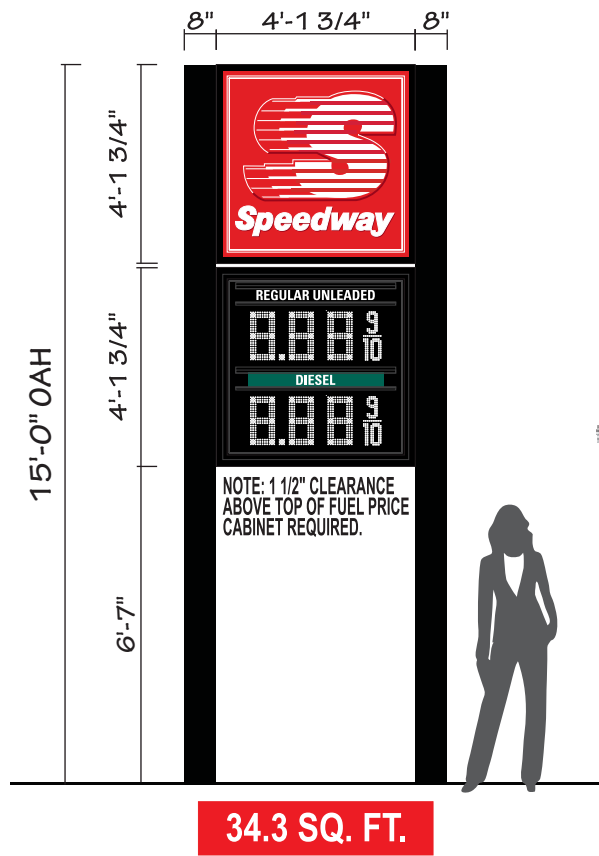
COLOR:

- PMS 428C Gray returns
- #2283 Red Acrylic Faces
- Red trimcap to match faces

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WORD PLATES:
 4" X 34" CLEAR ACRYLIC W/ 2.5" COPY
 WEEDED FROM BLACK VINYL TM FACE.
 4" X 34" CLEAR ACRYLIC W/ 2.5" COPY
 WEEDED FROM GREEN VINYL

DF INTERNALLY ILLUMINATED PYLON SIGN

SPEEDWAY SIGN HEAD

- 8" DEEP, DF EXTRUDED ALUMINUM CABINET & RETAINERS PAINTED TRICORN BLACK SW 6258
- PAN-FORMED & EMBOSSED POLYCARBONATE FACES W/2ND SURFACE DECORATION
- LED ILLUMINATION

FUEL PRICE SIGN HEAD

- 8" DEEP, DF EXTRUDED ALUMINUM CABINET & RETAINER PAINTED TRICORN BLACK SW 6258
- PAN-FORMED CLEAR POLYCARBONATE FACES BACK SPRAYED BLACK WITH WHITE RECTANGLES FOR FLAT CLEAR ACRYLIC WORD PLATES WITH COPY WEEDED FROM BLACK & GREEN BACK-GROUNDS TO SLIDE INTO 1ST SURFACE APPLIED CLEAR TRACKS.

FLAT PCU TACK (PWM) 12" WHITE LED DIGITS

- LED ILLUMINATION

POLES

8" SQ. TUBE PAINTED TRICORN BLACK PMS 6258

SPEEDWAY COLORS

■ RED 3M 3630-83/PMS 199C

□ WHITE 3M WHITE/PANTONE PMS WHITE

7-ELEVEN COLORS

■ 3M Scotchcal 3730-6537 Pantone PMS 336 C

Freestanding Code = Max area of 100sf allowed or .5 sf per side of sign for each lineal ft of developed property along a public street frontage, whichever is less.

Corner properties may use either street frontage to determine surface area of the sign.

Max per face = 50sf per side.

Overall, Height = 15' from Grade

Setback = 10' from property line.

Line of Site Clearance 20' from intersection

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D1 ENTRANCE - ARROWS POINT TOWARD STORE

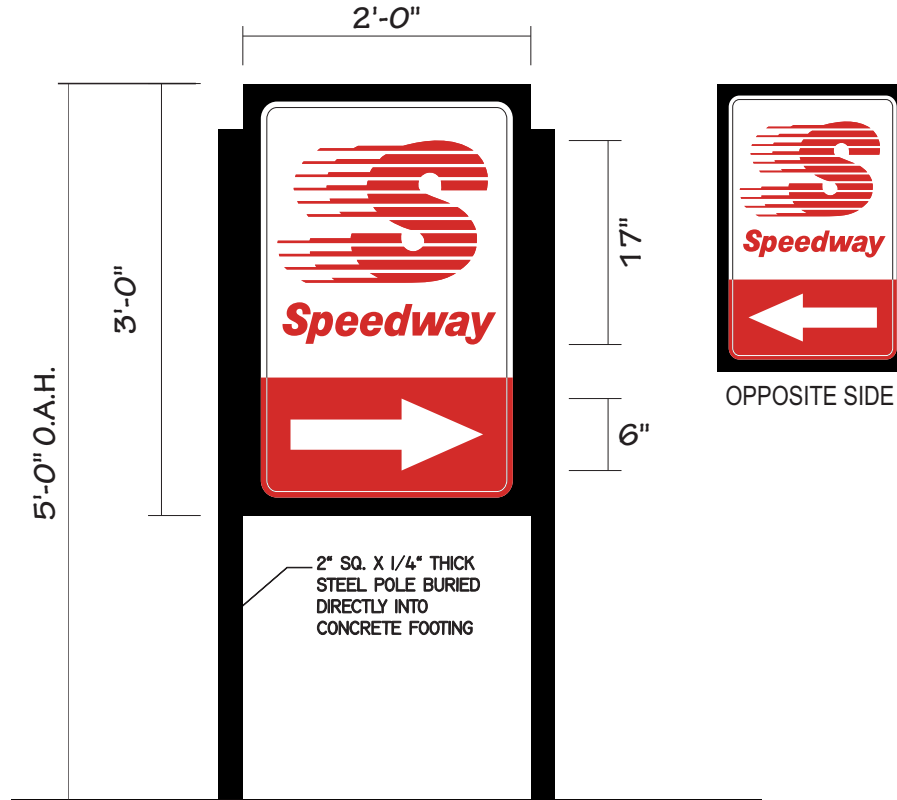
D2 ENTRANCE - ARROWS POINT TOWARD STORE

DF INTERNALLY ILLUMINATED DIRECTIONAL SIGN

- 6" DEEP DF LED ILLUMINATED CABINET 1" X 1" X 1/8" ANGLED IRON FRAME W/1.5" ALUM. RETAINERS. CABINET & RETAINERS PAINTED TRICORN BLACK.
- PAN-FORMED CLEAR POLYCARBONATE FACES W/2ND SURFACE FLAT DECORATION.
- 2" SQ. X 1/4" THICK STEEL POLES, PAINTED TRICORN BLACK, BURIED DIRECTLY INTO CONCRETE FOOTING.

SPEEDWAY COLORS

- RED 3M 3630-83/PMS 199C
- WHITE 3M WHITE/PANTONE PMS WHITE



Directional Code = 6sf allowed, and max height of 3' (very short).
 (1) per driveway allowed. Setback is min side yard of leading edge is 5'.

6 SQ. FT.

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